

AGENDA
PLANNING AND ZONING MEETING
October 18, 2018
6:00 P.M.
COUNCIL CHAMBERS
CITY HALL, 200 NORTH DAVID

Meetings can be viewed online at www.casperwy.gov on the Planning Commission web page.

PLANNING AND ZONING POLICY
PUBLIC STATEMENTS

1. Use of Cellular telephones is not permitted, and such telephones shall be turned off or otherwise silenced during the Planning and Zoning Meeting.
2. Speaking to the Planning and Zoning Commission (These guidelines are also posted at the podium in the Council Chambers).
 - Clearly state your name and address.
 - Please keep your remarks pertinent to the issue being considered by the Planning and Zoning Commission.
 - Please do not repeat the same statements that were made by a previous speaker.
 - Please speak to the Planning and Zoning Commission as you would like to be spoken to.
 - Please do not address Applicants or other audience members directly.
 - Please make your comments at the podium and directed to the Planning and Zoning Commission.
3. The City of Casper Planning and Zoning Commission is a volunteer body composed of members of the Casper Community, and appointed by the Casper City Council. The Commission acts as a quasi-judicial panel, making final decisions on some specific items, and recommendations to the City Council on others as dictated by law. The Commission may only consider evidence about any case as it relates to existing law. The Commission cannot make or change planning or zoning laws, regulations, policies or guidelines.

AGENDA

- I. CALL TO ORDER**
- II. MINUTES: September 20, 2018 Meeting**

III. PUBLIC HEARINGS:

- A. **PLN-18-022-C** – Petition for a Conditional Use Permit for an off-premise sign (billboard) in a C-2 (General Business) zoning district, on Lot 4, Block 159, Casper Addition, located at 1329 South Poplar Street. Applicant: David Dewald and Lamar Advertising.

- B. **PLN-023-S** – Site plan (design) approval for the construction of a commercial center, including a bank, a restaurant, and retail spaces (15,400 total square feet of building footprints), on Lot 1, Topol Addition, located at 4140 Centennial Hills Boulevard. Applicant: True Land and Realty.

VI. COUNCIL ACTIONS:

The following item(s) have been approved by the City Council since the last Planning and Zoning Commission meeting.

Zone Change of 143, 145, 159 and 169 West K Street, to R-5 (Mixed Residential)

V. SPECIAL ISSUES:

- A. Commissioner Renewals – Review terms, and communicate whether or not individual Commissioners are interested in continuing to serve. Ascertain how many openings we need to fill.

- B. Historic Preservation Commission representation.

VI. COMMUNICATIONS:

- A. **Commission**
- B. **Community Development Director**
 - 1) **Old Business Items**
 - 2) **New Business Items**

- C. **Council Liaison**
- D. **Other Communications**

VII. ADJOURNMENT

**PLANNING AND ZONING MEETING
THURSDAY, SEPTEMBER 20, 2018
CITY COUNCIL CHAMBERS**

These minutes are a summary of the meeting. For full details view online at www.casperwy.gov on the Meetings and Agendas web page. The Planning and Zoning Commission held a meeting at 6:00 p.m., on Thursday, September 20, 2018, in the Council Chambers, City Hall, 200 North David Street, Casper, Wyoming.

Members Present: Don Redder
 Bob King
 Fred Feth
 Ryan Waterbury
 Susan Frank
 Erik Aune

Absent Members: Randy Hein

Others present: Craig Collins, City Planner
 Dee Hardy, Administrative Support Technician
 Wallace Trembath, Assistant City Attorney
 Bob Hopkins, Council Liaison
 Brandon Daigle, 1616 East F Street
 Michael Reid, 1615 Luker Drive
 George Hartman, 7220 Elkhorn Valley Drive
 James Chaput, 7950 Hat Six Road, Cheyenne, WY
 Jim Kanelos, 1421 West 60th Street
 Judy Studer, 141 South Center Street, Suite 500
 Tim Postel, 2727 Hogan Drive
 Ryan Ford, 159 North Wolcott Street, Suite 400

I. MINUTES OF THE PREVIOUS MEETING

Chairman Redder asked if there were additions or corrections to the minutes of the August 16, 2018 Planning & Zoning Commission meeting.

Chairman Redder called for a motion to approve the minutes of the August 16, 2018 Planning & Zoning Commission meeting.

Mr. Feth made a motion to approve the minutes of the August 16, 2018 meeting. The motion was seconded by Mr. Waterbury. All those present voted aye. Minutes approved.

II. PUBLIC HEARING

The Chairman advised the applicants that it takes four (4) affirmative votes to carry any motion not just a majority of those commission members present. Anything less than four (4) votes is a denial. Applicants can postpone their Public Hearing until next month in anticipation of more Planning Commission members being present, if they so desire.

PLN-18-018-RZ – Petition to vacate and replat Betty Luker Parkway Campus #2 and a portion of Elkhorn Valley No. 5, Lot 1, to create Elkhorn Village Addition, comprising 21.0 acres, more or less; and consideration of a request for rezoning of the proposed Elkhorn Village Addition from PUD (Planned Unit Development), AG (Urban Agriculture), and R-2 (One Unit Residential) to entirely R-2 (One Unit Residential). Said property is generally located northeast of the intersection of Newport and E. 12th Streets. Applicant: Blackmore Homes, Inc.

Craig Collins, City Planner, presented the staff report and recommended that if the Planning and Zoning Commission finds that the requested replat meets the minimum requirements of the Casper Municipal Code, staff recommends that the Planning and Zoning Commission approve the replat and forward it to the City Council with a “do pass” recommendation, with the following conditions:

1. On all double-frontage lots along Newport Drive, East 12th Street and Elkhorn Valley Drive/Gladstone, vehicular access shall be prohibited along said streets, and all vehicular access, curb cuts, driveways and garages shall access internal streets only.
2. The plat shall be amended to dedicate the southern portion of Lot 53, in direct alignment with a planned future extension of East 12th Street, as public right-of-way.
3. Prior to the recording of the plat, the applicant shall obtain approval of all street names within the subdivision from the City of Casper Emergency Services departments.
4. Prior to City Council review, the applicant shall obtain approval of a drainage study and traffic study by the Engineering Department.

If, after the required public hearing, the Planning and Zoning Commission finds that the requested rezone of the proposed Elkhorn Village Addition to R-2 (One Unit Residential) meets the minimum requirements of the Casper Municipal Code, and is in conformance

with the Comprehensive Land Use Plan; staff recommends that the Planning and Zoning Commission approve the zone change, and forward a “do-pass” recommendation to the City Council.

Mr. Collins entered nine (9) exhibits into the record for this case.

Chairman Redder asked if there were questions for staff.

Mr. King asked if the drainage and traffic studies should be completed and approved before council approval or just in the works.

Mr. Collins advised that those studies should be done and approved before going to council.

Ms. Frank inquired about vehicular access within the subdivision and noted lot number 34 doesn't appear to have internal access.

Mr. Collins advised that condition was worded for lots that have double frontage. He advised that she was correct lot 34 does not have double frontage.

Chairman Redder noted that Newport, and East 12th Street were listed in the staff report and dedication but Elkhorn Valley Drive was not listed in the dedication of the plat.

Mr. Collins stated that the wording on the dedication lists Newport and East 12th Streets, but does not list Elkhorn Valley Drive. He commended Chairman Redder on catching that.

Chairman Redder opened the public hearing and asked for the person representing the case to come forward and explain the application.

Brandon Daigle, River Valley Builders, 1616 East F Street, spoke in favor of this case, and advised the replat will include Elkhorn Valley Drive in the dedication.

Mr. King asked if the four (4) conditions listed in the staff report were acceptable.

Mr. Daigle stated the four (4) conditions listed in the staff report were acceptable.

Chairman Redder mentioned that there were several instances where the dedication is vague. He noted there were some tracts larger than others and indicated the following uses signage, drainage and walking.

Mr. Daigle advised those tracts will be owned and maintained by Black Hills Homes. He stated that their current budget includes sidewalks and sod in the development. He advised that the dedication will be corrected.

Ms. Frank asked the applicant if he had seen the public comments submitted to the Planning and Zoning Commission, if so, would the development include a fence around it.

Mr. Daigle replied that he had seen the public comments, and the lots along the back would have six foot fences. However, there would not be a fence all the way around the subdivision.

Chairman Redder asked for anyone wishing to comment in favor of or opposition to this case.

Michael Reid, 1615 Luker Drive spoke in favor of this case.

George Hartman, 1220 Elkhorn Valley Drive, advised he sent in the letter inquiring about a barrier/fence along East 12th Street.

Chairman Redder stated that there will be a fence, however, not a stone fence like the one across the street.

Mr. Daigle stated that type of fence may be entertained in the future, but at the present time the budget did not allow for stone type fence.

There being no others to speak, Chairman Redder closed the public hearing and advised that the replat and zone change will be voted on separately. He entertained a motion to approve, approve with conditions, deny, or table PLN-18-018-RZ a replat creating Elkhorn Village Addition.

Ms. Frank made a motion to approve PLN-18-018-RZ a replat creating Elkhorn Village Addition, with Conditions No. 1-4 listed in the staff report, and forward a “do pass” recommendation to Council. The motion was seconded by Mr. King.

There was discussion on:

- Adding a 5th Condition to require a fence around Newport.
- Does the plan require land owners to build fence, hence having a fence all the way around the subdivision.
- Developed in a prudent manner, no need for a 5th Condition.

Mr. Feth called for the question. All those present voted aye with the exception of Mr. Waterbury who voted nay. Motion passed.

Chairman Redder entertained a motion to approve, deny or table PLN-18-018-RZ a rezone to R-2 (One Unit Residential). Mr. King made a motion to approve PLN-18-018-RZ, rezoning to R-2 (One Unit Residential) and forward a “do pass” recommendation to Council. The motion was seconded by Ms. Frank All those present voted aye. Motion passed.

The Chairman advised the applicants that it takes four (4) affirmative votes to carry any motion not just a majority of those commission members present. Anything less than four (4) votes is a denial. Applicants can postpone their Public Hearing until

next month in anticipation of more Planning Commission members being present, if they so desire.

PLN-18-019-ARZ – Petition to annex and plat a portion of the S1/2NW1/4, Section 9, Township 33 North, Range 79 West, 6th P.M., Natrona County Wyoming, and a vacation and replat of Lot 2, Block 1 and Lot 1, Block 2, Bailey Addition No. 2 and Lot 1 Stoval Brothers Addition, to create State Office Building Addition, comprising 11.06 acres, more or less, located at 444 West Collins Drive, and consideration of a request to establish the zoning of the subdivision as City zoning classification OYDSPC (Old Yellowstone District and South Poplar Corridor). Applicant: State of Wyoming Department of Administration & Information.

Craig Collins, City Planner, presented the staff report and recommended that if the Planning and Zoning Commission finds that the requested annexation and plat meet the minimum requirements of the Casper Municipal Code, staff recommends that the Planning and Zoning Commission approve the requested annexation, plat and establish the requested zoning of OYDSPC (Old Yellowstone District and South Poplar Corridor), and forward it to the City Council with a “do pass” recommendation.

Mr. Collins entered eight (8) exhibits into the record for this case.

Chairman Redder asked if there were question for staff.

Ms. Frank, asked if the Commission was considering three (3) items with this application, and was annexation one of them.

Mr. Collins replied yes. He stated they would be annexing the pieces of railroad land that has not been annexed.

Chairman Redder opened the public hearing and asked for the person representing the case to come forward and explain the application.

Jim Chaput, 7950 Hat Six Road, spoke in favor of this case.

Chairman Redder asked for anyone wishing to comment in favor of or opposition to this case.

Jim Kanelos, stated that the railroad land behind the Office retains water, he asked the State to consider irrigation and drainage that would be beneficial to everyone. He stated aconcerns about retaining his parking.

Jim Chaput advised that there has been discussions about the drainage issue behind the Office. He stated that the landscaping plans are not final as of yet, but will take into consideration their neighbors regarding irrigation and drainage.

There being no one to speak, Chairman Redder closed the public hearing and entertained a motion to approve, approve with conditions, deny, or table PLN-18-019-ARZ, regarding the annexation.

Mr. Waterbury made a motion to approve case PLN-18-018-ARZ, regarding an annexation creating State Office Building Addition, for the five (5) reasons listed in the staff report, and forward a “do pass” recommendation to City Council. The motion was seconded by Ms. Frank. All those present voted aye. Motion carried.

Chairman Redder entertained a motion to approve, approve with conditions, deny, or table PLN-18-019-ARZ, regarding the plat.

Mr. King made a motion to approve case PLN-18-019-ARZ regarding the plat of the State Office Building Addition, and forward a “do pass” recommendation to City Council. The motion was seconded by Mr. Waterbury. All those present voted aye. Motion carried.

Chairman Redder entertained a motion to approve, deny or table PLN-18-019-ARZ, regarding the zoning.

Mr. Waterbury made a motion to approve case PLN-18-019-ARZ, regarding the zoning of the The State Office Building Addition to OYDSPC (Old Yellowstone District and South Poplar Corridor), and forward a “do pass” recommendation to City Council. The motion was seconded by Mr. Feth. All those present voted aye. Motion carried.

The Chairman advised the applicants that it takes four (4) affirmative votes to carry any motion not just a majority of those commission members present. Anything less than four (4) votes is a denial. Applicants can postpone their Public Hearing until next month in anticipation of more Planning Commission members being present, if they so desire.

PLN-18-020-E – Petition for an exception/variance to allow an additional 120.55 square feet of signage, in excess of the current 600 square foot signage limit in a C-2 (General Business) zoning district, located on Klassen (RPLT L 4-6) Lot 5 Commercial, located at 600 West F Street. Applicant: McDonalds Real Estate Company.

Craig Collins, City Planner, presented the staff report and recommended that absent information that may be presented during public testimony, staff recommends that the Commission deny the exception request, based on the following finding:

Under the circumstances presented, strict compliance with Title 17 of the Zoning Code would not create an undue hardship on the applicant because; there are no unique physical limitations or characteristics of the property that deny the applicant

the reasonable use of the property and which do not apply generally to all the other land or buildings in the neighborhood.

Mr. Collins entered seven (7) exhibits into the record for this case.

Chairman Redder asked if there were question for staff.

Chairman Redder asks Mr. Trembath about leeway in this case since it is in litigation.

Mr. Trembath, Assistant City Attorney, advised that he would let Ms. Studer speak to the litigation that is ongoing. Before the Planning and Zoning Commission this evening is the issue of land use. He advised that his view of the land use is stated very clearly in the staff report. He advised that Ms. Studer has a different view of how the Ordinances read, and if the Commission thinks it is rational there are three (3) options for this case 1) follow the recommendation in the staff report, 2) continue the case, or 3) consider what the applicants are presenting, and see if you find it reasonable, or not, in that case you will be able to follow a different recommendation. He could address that after the applicant presents their case.

Chairman Redder opened the public hearing and asked for the person representing the case to come forward and explain the application.

Ms. Judy Studer, 141 South Center Street, Suite 500, spoke on behalf of McDonald's, she advised that this is a unique hearing, you will never hear these conditions again. Initially, when McDonald's purchased this property there was a small signage easements. In an easements you can build in it or do whatever you want because they get the easement and you still have use of your property. The unusual circumstance of this case is a Federal Judge did not agree with that general law and granted an exclusive easement of 300 square feet of signage or 50 percent. They are only using thirty-two (32) square feet. This gave them an exclusive easement that McDonald's cannot touch, and now McDonald's has been restricted to 300 square feet. The Planning Department approved 420 square feet of signage. McDonald's is technically in compliance with City Code. However, the applicant is in contempt of court, McDonald's respectfully disagrees with the Judge's ruling, and doesn't understand why it cannot be left as is until the appeals court decides the matter. She advised that they are currently faced with a motion to show cause of why they are not in contempt or we would be required to tear down the sign that brings in business and money tomorrow; unless the Commission is willing to grant some relief. Ms. Studer was unaware of staff's recommendation, until she received the staff report. She then had some discussions with the City about conditions and then the concept of giving the client a temporary Exception which will allow them to do nothing, be in compliance with the Court Order, and await the outcome of the Appeals Court. Should they be successful they can put the sign back up. She advised that is the hardship in this case.

She believes the Planning and Zoning Commission, legally, has the authority to do this, in the Municipal Code there is a difference between the definition of an exception and a variance. A variance is specific because it requires a physical issue with the lot and that

would be a necessary hardship because the property's irregular, narrow, shallow, steep physical conditions. Looking at the definition of an exception, it's not tied to the physical conditions of the property all that needs to be shown is a unique characteristic and that is what they have applied for an exception/variance. The Planning and Zoning Commission has the authority to modify the request and that is why they are asking for a temporary variance.

She stated that, her interpretation of the code is as follows; looking at subsection F of City Code 220, and you read the first three lines/words the Commission may vary, remember variance, and under G the Commission shall have the authority to grant exceptions. There is a distinction, F applies to variances and G applies to exceptions. In law specific applies over general. Specifically looking at the sign ordinances of the Municipal Code in Section 17.96.100(E) exception procedure states that to grant an exception from the strict application of this Chapter will result in practical difficulties or a necessary hardship to the person owning, or having beneficial use of the property, or sign for which an exception is sought. She emphasized that point. She stated that the Commission has specific authority under the special sign ordinances that would allow them to grant a temporary exception. Again, they are asking for time to allow the Appellate Court to make a final decision about what is going to happen to the signage on this property. For the record she cited some case law *Sanson v. District of Columbia Board of Zoning*. The case was an exception for construction of a storage facility in a residential area nothing to do with the physical condition of the property. Another case dealt with changing a manufacturing/industrial building into multi-family housing, again, having nothing to do with the physical characteristics. They both had unique circumstances presented. With all due respect, lawyers can have a different analysis of what these regulations mean. Her belief is that the Commission may grant a temporary exception for a period of time of two years. The temporary exception will enable McDonald's not to violate the Municipal Code, the exception will expire by its own terms, and give them the time needed for a resolution. She provided a lists of conditions with explanations that all had been met. She thanked the Commission for their patience, and offered to answer questions.

Mr. Collins entered the material provided by Ms. Studer as "Exhibit H."

Chairman Redder asked if there were questions for Ms. Studer.

Mr. King asked Ms. Studer to shed some more light on the ramifications should the case be denied. He asked if that meant McDonald's would have to tear down signs tomorrow, and is the sign we are talking about the big golden arches?

Ms. Studer replied yes. She stated that they asked the Judge if the current signage could remain on premises until a decision had been reached. That request was denied. Should this case be denied this evening their choices would be to appeal this case or tear down the sign.

Chairman Redder asked for anyone wishing to comment in favor of or opposition to this case.

Tim Postel, 2727 Hogan Drive, spoke to the importance of the sign. He owns all three (3) McDonald's in Casper and has experience with losing a sign due to high winds. He noted that the sign in question guides tourists off the Interstate to his restaurant, and many take time to explore the City. He noted that the signs are expensive.

Ryan Ford, Williams, Porter, Day and Neville, 4445 East 23rd Street, spoke on behalf of Casco LLC. He stated that Casco was not there to speak for or against granting this exception. He note that there had been a declaration in place for quite some time and McDonald's was aware of it. One of the rights within it granted Casco to put up signs, it began with JB's restaurant and continues. He stated that Casco's dispute is with McDonald's Real Estate Co. and not McDonald's restaurant. In 2013 Casco spent money and time putting together a sign plan and it was ignored by McDonald's Real Estate Co. He stated that Casco's perspective is granting this exception may or may not help.

Mr. King asked Mr. Ford if the Planning and Zoning Commission were to grant a variance with a **time** limit on it did he or Ms. Studer have an idea of how much time litigation would take.

Mr. Ford advised that would be a hard question to specifically answer. His best guess would be anywhere from two (2) years to in excess of five (5) or more.

There being no others to speak Chairman Redder closed the public hearing and entertained a motion to approve, approve with conditions, deny, or table PLN-18-020-E.

Mr. King, for discussion purposes, made a motion to approve case PLN-18-020-E to allow an additional 120.55 square feet of signage, in excess of the current 600 square foot signage limit in a C-2 (General Business) zoning district, located at 600 West F Street for one (1) year. The motion was seconded by Mr. Waterbury.

Mr. King asks Mr. Trembath if the motion is legitimate.

Mr. Trembath provided an example to approve a temporary exception to the Commission.

There was discussion on:

- Unique case.
- Appreciation that all cases are vetted through staff and the Comprehensive Land Use Plan.
- Hardship could be the expense to tear down the sign.
- Common sense should be a factor.
- Time limit of one (1) year enough, should it be extended due to time frame of legal system.

Mr. King amended his motion to approve, with one (1) condition and five (5) findings,

1. This temporary exception will not substantially impair the land use of the neighborhood, or adversely affect the safety of the adjacent property because the signage, as it currently exists complies with the Casper Municipal Code. And, under this temporary exception (two years' time), long-term compliance with the Casper Municipal Code is safeguarded. The safety of the signage must meet the same code requirements as other signs in Casper, Wyoming.
2. This temporary exception will not conflict with the Comprehensive Land Use Plan as adopted by the Commission and confirmed by the Council, nor violate the purpose or intent of this ordinance because signs are allowed under the Casper Municipal Code and the Comprehensive Plan. This temporary exception contains a condition to safeguard compliance with the Casper Municipal Code on a long-term basis.
3. Under the particular circumstances presented as set forth in the findings of the Commission, strict compliance with the terms of the Casper Municipal Code will cause undue hardship upon the applicant because it causes the owner to expend substantial funds that may or may not be necessary, depending on the results of other proceedings, litigation and future contingencies. This temporary exception allows the proceedings to play out, while still protecting the City's long-term interest in limiting signage to the amounts allowable under the Casper Municipal Code.
4. The applicant, or predecessors in interest, have not, by affirmative act or acts, caused the condition or use to exist in violation of the terms of the Casper Municipal Code because the temporary exception is only necessary because of a valid Court order in on-going litigation.
5. The circumstances in this case are unique. For purposes of this temporary exception only, and specifically because the conditions of this temporary exception safeguard long-term compliance with the Casper Municipal Code, while also allowing litigation, other proceedings and contingencies to work themselves out over time, we find that the hardship on the applicant is a personal hardship that may not require unique physical limitations or characteristics of the property that deny McDonalds Real Estate Company the reasonable use of its property.

a temporary Exception of up to an additional 120.55 square feet of signage, because strict compliance with Title 17 of the Municipal Code, specific to the current applicant. The

condition is that this temporary Exception automatically terminates two years after its approval by the Planning and Zoning Commission.

Chairman Redder calls for the vote on the amended motion. All those present voted aye with the exception of Mr. Aune who voted nay.

Mr. King reads the five (5) findings for clarification of his motion. Chairman Redder calls for the vote on the motion. All those present voted aye with the exception of Mr. Aune who voted nay. Motion Carried.

III. COUNCIL ACTIONS:

None.

IV. SPECIAL ISSUES:

None.

V. COMMUNICATIONS:

A. Commission:

Chairman Redder asked the representative from the Old Yellowstone District Advisory Commission if there was a report. Mr. Feth advised that there was nothing to report at this time.

B. Community Development Director:

Liz Becher, Community Development Director, stated that on Friday, September 21, 2018, there will be a tour of the Plains properties. She advised that the properties have been put up for sale by Request for Proposal (RFP) which will be due in 160 days or mid-February. She invited any interested Planning and Zoning Commissioner to join them. She noted that an October training session had been put on the calendar.

C. Other Communications:

There were none.

D. Council Liaison:

Bob Hopkins, Council Liaison, thanked the Commission for moving forward the State Office Building project. He advised that it will be a good addition to the City.

Mr. King asked for an update on the parking ordinance relating specifically to parkways. He advised that the Planning and Zoning Commission reviewed it at their regular June, 2018 monthly meeting and was unanimous that it not be allowed.

Mr. Hopkins advised that Council wanted to wait until the Parking Study had been completed, which was irrelevant to the issue, and Council has not addressed the matter to date. He invited any member of the Commission to address Council at one of their regular meetings.

VI. ADJOURNMENT

Chairman Redder called for a motion for the adjournment of the meeting. A motion was made by Ms. Frank and seconded by Mr. Waterbury to adjourn the meeting. All present voted aye. Motion carried. The meeting was adjourned at 8:06 p.m.

Chairman

Secretary

October 12, 2018

MEMO TO: Don Redder, Chairman
Members of the Planning and Zoning Commission

FROM: Liz Becher, Community Development Director
Craig Collins, AICP, City Planner

SUBJECT: **PLN-18-022-C** – Petition for a Conditional Use Permit for an off-premise sign (billboard) in a C-2 (General Business) zoning district, on Lot 4, Block 159, Casper Addition, located at 1329 South Poplar Street. Applicant: David Dewald and Lamar Advertising.

Recommendation:

If, after the public hearing, the Planning and Zoning Commission finds that the requested Conditional Use Permit meets the two (2) reasons and six (6) findings necessary for the approval of a Conditional Use Permit found in Section 17.12.240 (G) and (H) of the Casper Municipal Code, as outlined below under the Code Compliance section of this staff report, it would be staff's recommendation that the Planning and Zoning Commission articulate its findings, and apply, at a minimum, the following conditions of approval:

1. Pursuant to Section 17.12.240(I) of the Casper Municipal Code, the Conditional Use Permit shall be "exercised," and all conditions shall be met within one (1) year of the date of approval, or the Conditional Use Permit shall become null and void.
2. The placement of the sign structure on the property shall be at a minimum, one hundred (100) feet from the adjacent residentially zoned property to the east.
3. The maximum height of the off-premises sign, as measured from the pavement on South Poplar Street to the top of the sign/structure, shall be limited to thirty-five (35) feet.

Code Compliance:

Staff has complied with all public notice requirements of Section 17.12.240 of the Casper Municipal Code pertaining to Conditional Use Permits, including notification of property owners within three hundred (300) feet by first class mail, posting of the property, and publishing legal notice in the Casper Star-Tribune. Staff has received one (1) public comment regarding this case.

Section 17.12.240(G) of the Casper Municipal Code states that no conditional use permit shall be granted unless the Commission finds the following:

1. The Conditional Use is consistent with the spirit, purpose, and intent of this Title; will not substantially impair the appropriate use of neighboring property; and will serve the public need, convenience, and welfare;
2. The Conditional Use is designed to be compatible with adjacent land uses and the area of its location.

When making the decision for a Conditional Use Permit, the Commission shall consider the scale of the operation and relationship to other similar issues as expressed in the six (6) considerations outlined in Section 17.12.240 (H) as listed below:

- a. Area and height to be occupied by buildings or other structures.
- b. Density of the proposed use in terms of units per acre and the number of offices, employees, occupants, or all three.
- c. Volume of business in terms of the number of customers per day.
- d. Increased traffic congestion or hazard caused by the use which may be over and above normal traffic for the area, as determined by the City Engineer and Community Development Director.
- e. Location of use with respect to the same or similar uses within a three hundred foot (300') radius of the perimeter of the described property.
- f. Any other criteria affecting public health, safety, and welfare, as provided for by written rules of the Commission.

Pursuant to Section 17.12.240(I) of the Casper Municipal Code, the Commission may impose reasonable conditions on a Conditional Use Permit, including, but not limited to, time limitations, requirements that one or more things be done before construction is initiated, or conditions of an ongoing nature. By way of illustration, not limitation, the following limitations or modifications can be placed upon a Conditional Use Permit, to the extent that such conditions are necessary to insure compliance with the criteria of Section 17.12.240(G) and (H):

1. Size and location of site;
2. Street and road capacities in the area;
3. Ingress and egress to adjoining public streets;
4. Location and amount of off-street parking;
5. Internal traffic circulation systems;
6. Fencing, screening, and landscaped separations;
7. Building bulk and location;
8. Usable open space;
9. Signs and lighting; and,
10. Noise, vibration, air pollution and other environmental influences.

Pursuant to Section 17.96.050(C), in addition to the criteria listed above, when reviewing Conditional Use Permits for off-premise signs, the Planning and Zoning Commission may also consider lighting, impacts on neighboring properties and the relationship of the proposed sign to existing on-premises signs in making their determination on the request.

Summary:

The application before the Planning and Zoning Commission requests approval of a Conditional Use Permit to install an off-premises sign (billboard) in a C-2 (General Business) zoning district, located at 1329 South Poplar Street. The subject property is occupied by a residential structure, and abuts properties zoned R-3 (One to Four Unit Residential) on the east, and C-2 (General Business) on the north, south and west. Land uses in the immediate vicinity are a mix of single and multi-family residential, as well as commercial. Pursuant to Section 17.96.050(C), off-premises signs require the approval of a Conditional Use Permit in order to be located in the C-2 (General Business) zoning district. The maximum size permitted for an off-premises sign in this location, would be two hundred fifty (250) square feet, and the maximum height would be fifty (50) feet. The proposed sign is thirty-five (35) feet in height and the face(s) are approximately 250 square feet in size.

An off-premises sign is defined as a sign that advertises or directs attention to a business that is located or conducted somewhere other than the same lot or parcel or within the same building upon which the sign is located. Off-premises signs along arterial and collector streets must maintain a minimum separation of three hundred (300) feet from other existing off-premises signs. Additionally, off-premises signs are not permitted within three hundred (300) feet of a historic district, any site on the National Register of Historic Places, public park, public school, church, or cemetery. Currently there are no known off-premises signs, or other restrictive elements located within three hundred (300) feet of the proposed sign.

Section 17.96.050(K)(3) prohibits the construction of off-premises signs when the sign/structure is within one hundred (100) feet of the boundary of a residential district. With regard to the subject property, a residential district exists directly to the east, on the opposite side of the alley; however, the sign structure is located at the front of the subject property, close to Poplar Street, and therefore exceeds the one hundred (100) foot limitation. Several years ago, the C-2 (General Business) zoning district was amended to allow residential uses, by right. A zoning definition of “residential district” does not exist in the Code, and could be subject to interpretation. For example, the C-2 (General Business) zoning district could be considered to be residential, mixed use, or commercial. The existing land uses surrounding the subject property are, by majority, residential; however, long-term, the redevelopment along South Poplar Street is likely to be commercial or mixed-use in nature.

The intended purpose of the restriction on locating an off-premises sign close to a residential area is presumed to be because residential uses and off-premises signs can be incompatible. The reason that only heavy commercial or industrial areas allow off-premises signs by right, and the C-2 (General Business) zoning district requires a Conditional Use Permit, is because heavy commercial and industrial areas are typically not located close to residential areas, and C-2 (General Business) zoning districts often are directly adjacent to residential areas, so compatibility must be assured.

Recommended Motion:

To assist the Planning and Zoning Commission with making a motion on the Conditional Use Permit, staff has prepared the following motion as an example:

Case number **PLN-18-022-C**, a Conditional Use Permit for an off-premise sign (billboard) in a C-2 (General Business) zoning district, located at 1329 South Poplar Street, shall be approved with the three (3) conditions stated above, for the following reasons:

1. The Conditional Use is consistent with the spirit, purpose, and intent of this Title; will not substantially impair the appropriate use of neighboring property; and will serve the public need, convenience, and welfare;
2. The Conditional Use is designed to be compatible with adjacent land uses and the area of its location.

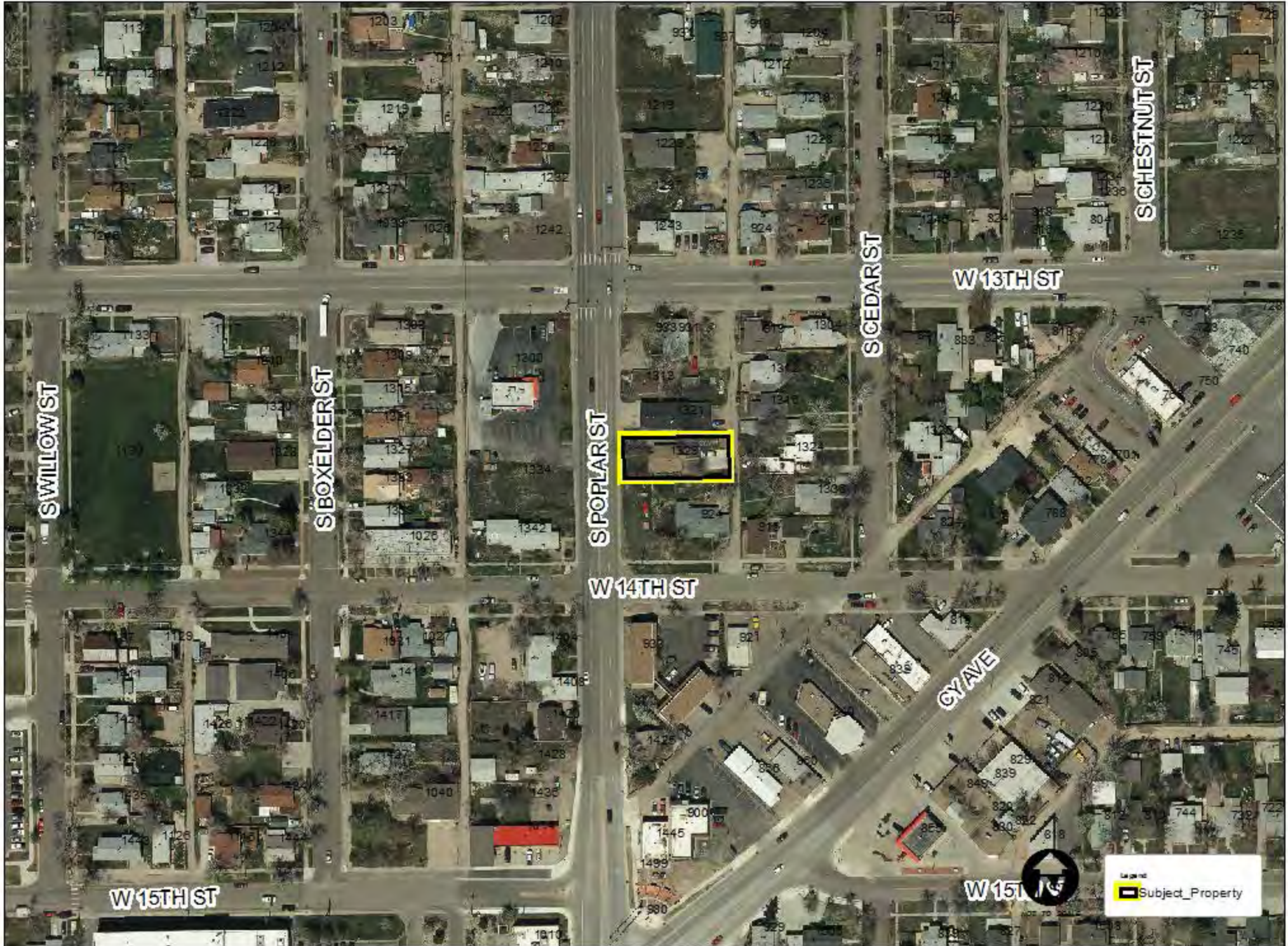
Furthermore, the Planning and Zoning Commission finds that:

- a. The proposed sign face area will meet the maximum allowed, and the thirty-five (35) foot height of the sign will be less than the maximum height permitted in Section 17.96.050 of the Casper Municipal Code.
- b. The density of the proposed use in terms of units per acre and the number of offices, employees, occupants, or all three is not applicable in this case.
- c. The approval of a Conditional Use Permit will not increase the volume of business to the site of the off-premises sign.
- d. There will not be unreasonable congestion or a traffic hazard caused by the use, as determined by the City Engineer and the Community Development Director.
- e. There are no known off-premises signs within three hundred (300) feet of the proposed off-premises sign location.
- f. There are no other criteria, affecting public health, safety, and welfare, as provided for by written rules of the Commission.

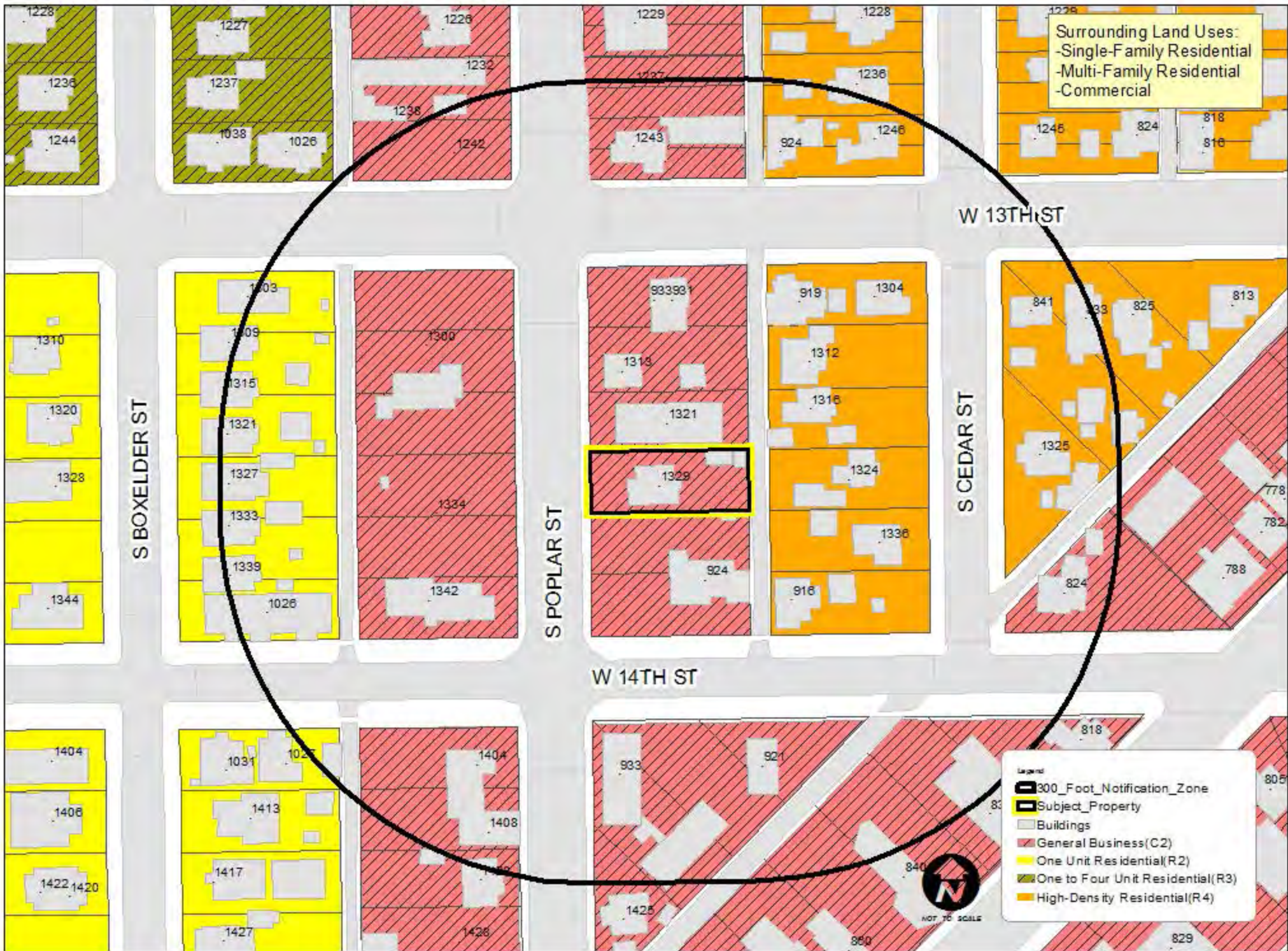
1329 South Poplar Street CUP

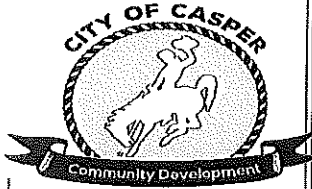


1329 South Poplar Street CUP



1329 South Poplar Street CUP





City of Casper Planning Division

Conditional Use Permit Application

OWNER'S INFORMATION:

NAME: Lamar Advertising
ADDRESS: 2056 N Skyview Dr, Casper, WY 82601
TELEPHONE: 307-234-9107 EMAIL: jrideoutt@lamar.com

LOCATION OF REQUEST:

ADDRESS: 1329 S Poplar St, Casper, WY 82601
LEGAL DESCRIPTION: Casper Blk 159 Lot 4
Number of Lots: 1 Size of Lots: .149219 acres
Current Zoning: C-2 (general business) Current Use: business
Purpose for which the property is proposed to be used: off-premise outdoor advertising billboard sign in the SW corner of lot
Prior restrictions placed on the property: _____

Floor area square footage: N/A Number of Occupants or Employees: N/A
Building Footprint: N/A Number of off-street parking spaces: N/A

A PLOT PLAN IS REQUIRED SHOWING: (WHERE APPROPRIATE)

- | | | |
|-------------------------------|--------------------------------|-------------------------------------|
| lot size and dimensions | size and location of buildings | off-street parking spaces |
| routes for ingress and egress | internal traffic control | fencing, screening, and landscaping |
| signs and lighting | setback distances | |

The following owner's signature, or agent, signifies that all information on the application is accurate and correct to the best of the owner's knowledge, and that the owner has thoroughly read and understands all application information and requirements.

SIGNATURE OF PROPERTY OWNER: *David Wayne Sewald*
DATE: 8/9/18

SUBMIT TO:
Community Development Department
Planning Division
200 N David, RM 203
Casper, WY 82601
Phone: 307-235-8241
Fax: 307-235-8362
www.casperwy.gov
E-mail: dhardy@cityofcasperwy.com

- COMPLETE SUBMITTAL NEEDS TO INCLUDE:
- COMPLETED APPLICATION INCLUDING ORIGINAL SIGNATURES
 - PROOF OF OWNERSHIP
 - \$600 APPLICATION FEE (NON-REFUNDABLE)
 - PLOT PLAN

FOR OFFICE USE ONLY:
DATE SUBMITTED:
SEP 14 2018
REC'D BY: *dh*



POPLAR STREET (80')

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

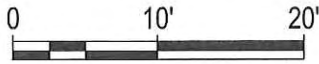
LIGHT ARM (TYP)

SIGN INFORMATION
 10.5' TALL
 22.5' WIDE
 5.0' SIDE ARMS WITH LIGHT ON END
 POSITIONED IN THE NW CORNER OF LOT 4

M:\Land 2018\Surveying\18-121 Lamar Signs\Lamar Sign Lot 4.dwg, 2/16/2018, Survey



Civil Engineering Professionals, Inc.
 6080 Enterprise Drive, Casper, WY 82609
 Phone 307.266.4346 Fax 307.266.0103
 www.cepi-casper.com



LAMAR SIGN EXHIBIT
 1329 South Poplar Street
 Lot 4 Block 159, City of Casper,
 Natrona County, Wyoming
 February, 2018
 W.O. 18-121



4425 N 24TH ST. - STE 200
 PHOENIX, AZ 85016
 602-230-8634 / 800-525-8509
 FAX 602-230-9071

TITLE: Cover Sheet

JOB #:
 ENG. #: G-10968
 DATE: May-18
 BY: FS
 SHEET: COV

COVER SHEET

CUSTOMER: LAMAR ADVERTISING

LOCATION: CASPER, WY

SIZE OF FACE: 11 X 23 (ft)

H.A.G.L.: 23.5 (ft) OA HEIGHT: 35 (ft)

WIND LOAD: 115 MPH

SOIL: 150/300 (psf/ft)

STRUCTURE DESIGN:

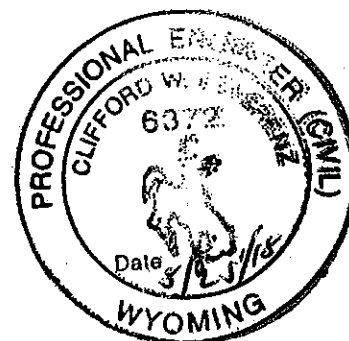
- CENTER MOUNT
- PARTIAL FLAG - DISTANCE = _____
- FULL FLAG - COLUMN LOCATION _____
- OFFSET = _____ (ft)
- V-BUILD ° ANGLE OR 10 (ft) MAX OPENING
- BACK TO BACK
- SINGLE-FACE
- MULTI POST DESIGN - SPACING = _____ (ft)
- ENCLOSURE

FOOTING DESIGN:

- ROUND
- SQUARE
- SPREAD

SPECIAL CONDITIONS:

REVISIONS:



SEP 14 2018

Clifford W. Engler
 5/25/18



4425 N 24TH ST. - STE 200
PHOENIX, AZ 85016
602-230-8634 / 800-525-8509
FAX 602-230-9071

TITLE: Specifications

JOB #:
ENG. #: G-10968
DATE: May-18
BY: JSW
SHEET: 1

DESIGN SPECIFICATIONS

CODE: 2015 IBC

STEEL:

WIDE FLANGES: ASTM A992, $F_y = 50$ ksi

OTHER PLATES AND SHAPES: ASTM A36, $F_y = 36$ ksi

PIPE SECTIONS: ASTM A53B, A252 OR API 5LX, F_y AS NOTED

WELDING: AWS D1.1

BOLTS: ASTM A307 OR A325N AS NOTED

CONCRETE: $f'_c = 3000$ psi AT 28 DAYS (DESIGNED AT 2500)

REINFORCING STEEL: ASTM A706, GRADE 60 ($F_y = 60$ ksi)

WOOD: DOUGLAS FIR LARCH #2

FOUNDATION: IBC TABLE 1806.2 (CLASS 4 MATERIAL)
ALLOWABLE BEARING PRESSURE = 2000 psf
PASSIVE LATERAL RESISTANCE
(1806.3.4) 150 x 2 = 300 PSF/FT

DESIGN LOADS:

WIND: 115 MPH - EXPOSURE C

LIVE:

CATWALKS: 40 psf OR 300#

DEAD:

SIGN FACE: 2.5 PSF

DIGITAL DISPLAY: N/A

PIGEON PAN: N/A

OTHER MEMBERS AS NOTED IN CALCULATIONS



4425 N 24TH ST. - STE 200
 PHOENIX, AZ 85016
 602-230-8634 / 800-525-8509
 FAX 602-230-9071

TITLE: Wind Pressures

JOB #:
 ENG. #: G-10968
 DATE: May-18
 BY: FS
 SHBET: WIND (2)

Wind Load Design for 2015 IBC / ASCE 7-10

$P_w = q_z G C_f$ ASCE 29.4.1 (Eq. 29.4-1, modified to change to pressure in lieu of force)
 $q_z = 0.00256(K_z)(K_{zt})(K_d)(V^2)$ ASCE 29.3.2 (Eq. 29.3-1)
 $C_f =$ See Below ASCE Figure 29.4-1
 $K_{zt} = 1.0$
 $K_d = 0.85$ ASCE Table 26.6-1
 $G = 0.85$
 $V = 115$ Risk Category II
 $K_z = 1.01$ (Exposure C) ASCE Table 29.3-1

Overall Height (ft)	0-15	K _z (Exposure C)	0.85
	20		0.90
	25		0.94
	30		0.98
	40		1.04
	50		1.09
	60		1.13
	70		1.17
	80		1.21
	90		1.24
	100		1.26
	120		1.31
	140		1.36
160	1.39		

Structures to be designed using load combination D + L + 0.6W

C_f Calculations per ASCE Figure 29.4-1

Sign Width (B) = 23
 Sign Overall Height (h) = 35
 Sign HAGL = 23.5
 Sign Face Height (s) = 11.5
 Clearance Ratio (s/h) = 0.3286
 Aspect Ratio (B/s) = 2.000

Case A and Case B

$C_f = 1.8$ $0.6p_w = 26.68$

use 27 psf

Case C

Not applicable as $B/s \leq 2$



4425 N 24TH ST. - STE 200
PHOENIX, AZ 85016
602-230-8634 / 800-525-8509
FAX 602-230-9071

TITLE:

FRONT WALKWAY DESIGN

JOB #:

ENG. #: G-10968

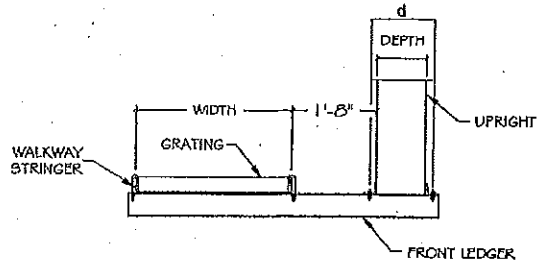
DATE: May-18

BY: FS

SHEET: 3

FRONT WALKWAY DESIGN :

Walkway Width, (W) =	2	ft
Upright Depth (D) =	8	in
d =	11	in
Upright Spacing (L1) =	14	ft
Walkway Cantilever (L2) =	4.33	ft



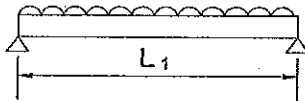
WALKWAY STRINGER DESIGN :

DEAD LOAD :

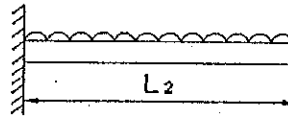
Stringer (L5x3x1/4) : 6.6 plf x 2 = 13.20 plf
Grating : 2.00 psf x 2 ft = 4 plf
10 % Misc. : = 1.72 plf
TOTAL = 18.92 plf

LIVE LOAD :	
Uniform Load =	40 psf.
Point Load =	300 lbs.

SIMPLE SPAN : L₁ = 14 ft



CANTILEVER : L₂ = 4.33 ft



DEAD LOAD

$$M_{DL} = 18.92 \times \left(\frac{14}{8} \right)^2 = 483.5 \text{ ft-lbs}$$

LIVE LOAD

$$M_{\text{point load}} = 300 \times \left(\frac{14}{4} \right) = 1050 \text{ ft-lbs}$$

$$M_{\text{uniform load}} = \left(\frac{40 \times (2)}{8} \right) \left(\frac{14}{2} \right)^2 = 1960 \text{ ft-lbs}$$

$$M_{\text{TOTAL}} = 483.5 + 1960 = 2423.5 \text{ GOVERNS}$$

$$M = \frac{2423.5}{2 \text{ STR}} = 1.212 \frac{\text{ft-kip}}{\text{stringer}}$$

$$S_{\text{req}} = \frac{\Omega M}{F_y} = \frac{1.67 \times (14.54)}{36} = 0.676 \text{ in}^3 < 1.51 \text{ in}^3 \text{ OK}$$

$$M_{DL} = 18.92 \times \left(\frac{4.33}{2} \right)^2 = 177.4 \text{ ft-lbs}$$

LIVE LOAD

$$M_{\text{point load}} = 300 \times 4.33 = 1299 \text{ ft-lbs}$$

$$M_{\text{uniform load}} = \left(\frac{40 \times (2)}{2} \right) \left(\frac{4.33}{2} \right)^2 = 749.96 \text{ ft-lbs}$$

$$M_{\text{TOTAL}} = 177.4 + 1299 = 1476.4$$

USE : L5x3x1/4 AT FRONT WALKWAY S_x = 1.51 in³.



4425 N 24TH ST. - STE 200
 PHOENIX, AZ 85016
 302-230-8634 / 800-525-8509
 FAX 602-230-9071

TITLE:

FRONT WALKWAY DESIGN

JOB #:

ENG. #: G-10968

DATE: May-18

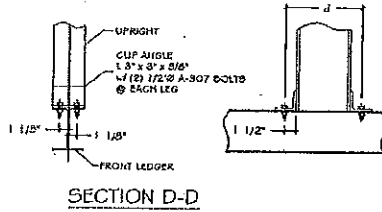
BY: FS

SHEET: 4

FRONT WALKWAY DESIGN CONT. :

FRONT LEDGER: USE: W 6 x 9 OK BY INSPECTION

CONNECTION : UPRIGHT TO LEDGER



BOLTS DESIGN :

$$T = \frac{M}{d} \quad d = \approx 11 \text{ in}$$

$$M = \left[(16.02 \text{ plf} + (2 (40.0 \text{ psf})) \right] \times 14 \text{ ft} \left[\frac{3.125}{2} + 1.67 + 1 \right] = 5.86 \text{ ft-k}$$

$$T = \frac{5.86 \times 12}{11} = \frac{6.39 \text{ k}}{2 \text{ bolts}} = 3.20 \text{ k/bolt}$$

$$\text{TRY: A307 } 1/2" \text{ dia. Bolt} \quad A = \frac{\pi d^2}{4} = \frac{3.14 \times (0.50)^2}{4} = 0.196 \text{ in}^2$$

$$M_{allow} = 0.196 \frac{(45)}{2} = 4.42 \text{ k} > T \quad \underline{\text{OK}}$$

USE: (2) - 1/2" Ø A307 BOLTS

Expanded Metal

Style	Weight in lbs. per C.S.F.	Standard Sizes in Feet	Size of Openings in Inches	Center to Center of Bond in Inches	Size of Strands in Inches	Percent Open Area	Nb. of Diamonds per ft. SWD	Overall Thickness in Inches
-------	---------------------------	------------------------	----------------------------	------------------------------------	---------------------------	-------------------	-----------------------------	-----------------------------

CARBON STEEL GRATING-ASTM A1011

	Plain	Galv.	Width	Length	Width	Length	Width	Length	Width	Thickness			
3 lb	300	320	4-6	8-10	0.938	3.438	1.333	6.330	0.261	0.183	73	9	0.500
4 lb	400	430	4-5-6	8-10	0.938	3.438	1.333	5.330	0.297	0.215	65	9	0.625
5 lb	500	550	4-5-6	8-10	0.813	3.375	1.333	5.330	0.327	0.250	52	9	0.625
7 lb	700	750	4-8	8	0.813	3.375	1.412	5.330	0.388	0.312	60	8.5	0.750

Above conforms to EMMA 557-99

ANY MFR CONFIRMING TO THIS STANDARD IS ACCEPTABLE

ALUMINUM GRATING-ALLOY 5052 H32

2 lb	200		4-6	8	1.000	3.600	1.333	5.330	0.235	0.260	77	9	0.460
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Above conforms to EMMA 557-99

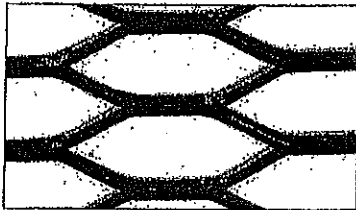
CARBON STEEL LONG LENGTH SWD (CATWALK GRATING)-ASTM A 569/569M

3 lb	300	320	8-10	2-2.6-3-4	0.938	3.438	1.333	5.330	0.261	0.183	73	9	0.500
4 lb	400	430	8-10	2-2.6-3-4	0.938	3.438	1.330	5.330	0.297	0.215	65	9	0.625
6 lb	500	550	8-10	2-2.6-3-4	0.813	3.375	1.333	5.330	0.327	0.250	52	9	0.625

Above conforms to EMMA 557-99

ALUMINUM LONG LENGTH SWD (CATWALK GRATING)-ALLOY 5052 H32

Above conforms to EMMA 557-99



2.0 lb-3.0 lb-4.0 lb-5.0 lb-6.25 lb-7.0 lb



3.14 lb



4.27 lb

Style	Weight in lbs. per C.S.F.	Standard Sizes in Feet	Size of Openings in Inches	Center to Center of Bond in Inches	Size of Strands in Inches	Percent Open Area
-------	---------------------------	------------------------	----------------------------	------------------------------------	---------------------------	-------------------

ORNAMESH CARBON STEEL-ASTM A 1011-ALUMINUM ALLOY 5005 H34

	Plain	Width	Length	Width	Length	Width	Length	Width	Thickness	
Steel	1.590	4-6	8	1.327	6.400	1.550	7.100	0.122	0.131	65
Aluminum	0.630	4-6	8	1.250	6.125	1.500	5.330	0.125	0.134	65

Above conforms to EMMA 557-99

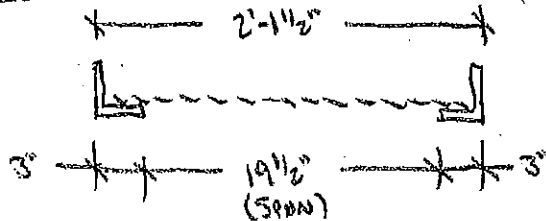


WALKWAY GRATING

6

LOADS 140 PSF OR 300# CONC LOAD
↑ DISTRIBUTE PER 1607.4

2' WALKWAY



• CONC LOAD GOVERNS
• CONVERT TO PSF
 $= \frac{300}{(2 \times 2.5)} = 60 \text{ PSF}$

USE 2.0# CARBON STEEL GRATE FOR 2' WALKWAYS

3' WALKWAY

SPAN = 31.5"
LOAD = $\frac{300}{(2.5 \times 2.5)} = 48 \text{ PSF}$

USE 3.0# OR 3.14# CARBON STEEL GRATE FOR 3' WALKWAYS

SEE FOLLOWING SHEETS

GRATING MFG SHALL BE IN CONFORMANCE W/ ENMA 557-99

Expanded Metal Grating

7

LOAD & DEFLECTION TABLE

Deflections shown in shaded areas can be safely used at the discretion of the engineer; however, these deflections exceed 1/4".

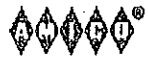
Grating Style	Load Panel	Span (ft)	Load in Pounds										Deflection in inches					
			50	100	150	200	250	300	350	400	450	500						
2.0# CARBON STEEL	c	18"	.052	.105	.158	.211												
		24"	.126	.250	.176													
		30"	.244															
		36"																
	u	18"	.049	.099	.147	.196	.245											
		24"	.156															
		30"																
		36"																
3.0# CARBON STEEL	c	24"	.068	.132	.197													
		30"	.116	.228														
		36"	.100															
		42"																
	u	24"	.073	.146	.220													
		30"	.155															
		36"																
		42"																
3.14# CARBON STEEL	c	24"	.049	.094	.140	.187	.234											
		30"	.099	.198														
		36"	.180															
		42"	.225															
	u	24"	.057	.115	.173	.230												
		30"	.129															
		36"																
		42"																
4.0# CARBON STEEL	c	24"	.031	.064	.096	.128	.160	.192	.224	.256								
		30"	.060	.120	.180	.240												
		36"	.101	.205														
		42"	.158															
	u	24"	.037	.073	.111	.147	.184	.222										
		30"	.068	.135	.205													
		36"	.180															
		42"																
4.27# CARBON STEEL	c	24"	.038	.078	.116	.156	.196	.235										
		30"	.081	.163	.245													
		36"	.124	.250														
		42"	.193															
	u	24"	.038	.079	.120	.160	.200	.240										
		30"	.078	.156	.235													
		36"	.186															
		42"																
5.0# CARBON STEEL	c	24"	.023	.047	.070	.093	.116	.140	.164	.188	.210	.234						
		30"	.033	.067	.100	.130	.174	.217										
		36"	.078	.154	.230													
		42"	.103	.206														
	u	24"	.025	.050	.075	.100	.125	.150	.175	.200	.225	.250						
		30"	.081	.123	.184	.246												
		36"	.133															
		42"	.200															

AT SPAN = 19 1/2" * LOAD = 60PSF; Δ = 0.091" ∴ OK

FOR 2' walkway

AT SPAN = 31 1/2" * LOAD = 48 PSF; Δ = 0.20" ∴ OK

FOR 3' walkway



Expanded Metal Grating

8

LOAD & DEFLECTION TABLE

Grating Style	Load	Clear Span	Load in Pounds								Deflection in Inches				
			50*	100	150	200	250	300	350	400	450	500			
6.25# CARBON STEEL	c	24"	.015	.030	.045	.060	.075	.090	.105	.120	.135	.150			
		30"	.035	.069	.103	.137	.171	.206	.240						
		36"	.054	.108	.161	.216									
		42"	.084	.166	.247										
		48"	.117	.236											
		54"	.167												
		60"	.226												
	72"														
	u	24"	.017	.035	.054	.072	.090	.110	.127	.145	.164	.181			
		30"	.046	.091	.135	.180	.226								
		36"	.082	.164	.246										
		42"	.150												
		48"													
		54"													
60"															
7.0# CARBON STEEL	c	30"	.030	.061	.090	.121	.152	.182	.212	.242	.272	.302			
		36"	.051	.101	.151	.201									
		42"	.065	.130	.195										
		48"	.095	.190											
		54"	.143												
		60"	.203												
		72"													
	u	30"	.039	.079	.118	.157	.196	.236	.275	.314	.353	.392			
		36"	.085	.170											
		42"	.126												
		48"	.210												
		54"													
		60"													
		72"													
2.0# ALUMINUM	c	18"	.019	.039	.059	.079	.099	.119	.139	.159					
		24"	.046	.092	.138	.184	.230								
		30"	.092	.181											
		36"	.125												
		42"													
		48"													
		54"													
	u	18"	.017	.034	.051	.068	.085	.103	.121	.139	.157				
		24"	.047	.094	.141	.180	.226								
		30"	.108	.216											
		36"	.213												
		42"													
		48"													
		54"													

CONCENTRATED LOAD: A load that is concentrated over a small area. Example, a pedestrian load, or light equipment load. Concentrated loads are shown in lbs per ft. of grating width measured perpendicular to span. (lb. in SWD Direction)

DEFLECTION: The deviation in inches from the original plane when the grating is placed under a load.

UNIFORM LOAD: A load that is equally distributed over all of the clear span. Measured in lbs per sq. ft. (i.e., inventories stacked on shelving.)

CLEAR SPAN: The distance between supporting members measured from the inside bearing point of one supporting member to the inside bearing point of the next supporting member.

AMICO GRATING APPLICATION GUIDE

This table is a convenient means of selecting grating for typical walk-way installations. If the distance between supports, and the load to be carried are known, the most economical type of grating to be used may be selected from the table below. Expanded metal grating has its greatest resistance to bending in the direction of the long way of the diamond. The LWD should always be placed across the span for best results.

Concentrated Load Lbs Per Foot of Width	LOAD IN POUNDS	CLEAR SPAN							
		24"	30"	36"	42"	48"	54"	60"	
Occasional Pedest. Load (Window Washers)	50#	3.0#*	3.0#	3.0#	4.0#	4.0#	5.0#	6.25#	
Normal Pedest. Load	100#	3.0#	3.0#	3.0#	4.0#	4.0#	5.0#	6.25#	
	150#	3.14#*	4.0#	5.0#	6.25#				
Heavy Pedest. (With Light Equip.)	200#	4.0#	5.0#	6.25#					
	250#	4.0#	5.0#						
	300#	4.27#**	5.0#						
	350#	4.27#**	6.25#						
400#	4.27#**	6.25#							

*3.14# grating in lieu of 3# if the application requires a grating having a larger diamond. Example: Outside catwalk in ice and snow.

**4.27# grating may be used in lieu of 4# if the application requires a smaller diamond to afford protection from dropped tools and other objects.





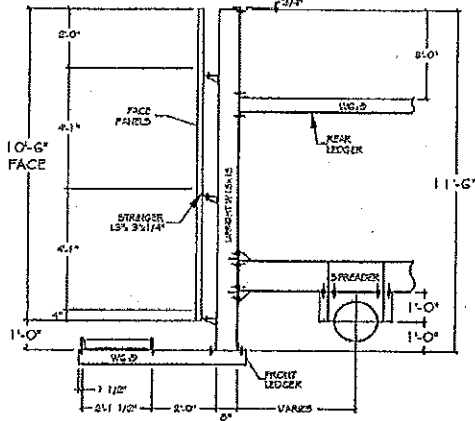
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TITLE:

UPRIGHT DESIGN

JOB #:
ENG. #: G-10968
DATE: May-18
BY: FS
SHEET: 9

UPRIGHT DESIGN



SIGN PANEL WTG., P _{DL} =	1.10	K
# Of Uprights =	2	
Max Wind Pressure =	0.02700	ksf
Height, H =	9	ft
Upright Trib. =	11.33	ft
e = ±	2	ft

$$w = 0.0270 \times 11.33 = 0.3059 \text{ klf}$$

$$M_{wind} = 0.3059 \times (9.00)^2 / 2 = 12.39 \text{ ft-k} / 2 \text{ uprights}$$

$$M_{wind} = 12.39 \text{ ft-k} / 2 \text{ Uprights} = 6.19 \text{ ft-k per upright}$$

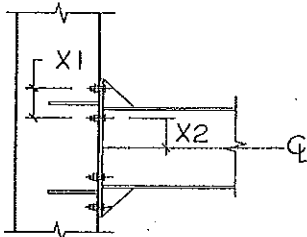
$$M_{sign} = P_{DL} \times e = 1.10 \times 2 = 2.20 \text{ ft-k per upright}$$

$$M_{total} = 8.39 \text{ ft-k per upright}$$

USE: W 8 x 13

M_{capacity} = 16.5 ft-k UBL: 9'-6"

CONNECTION



DEAD LOAD :

						Per Upright
SIGN Panel =	2.5 psf	x	11.33 ft	Trib.	x	10.5 ft = 297.41 lbs
Hang rail (L3x3x1/4) =	4.9 plf	x	11.33 ft	Trib.	x	1 = 55.52 lbs
Stringer (L4x4x1/4) =	6.6 plf	x	11.33 ft	Trib.	x	3 = 224.33 lbs
Front Walkway (L6x3x1/4) =	6.6 plf	x	11.33 ft	Trib.	x	2 = 149.56 lbs
grating =	2.00 psf	x	11.33 ft	Trib.	x	2 ft = 45.32 lbs
Upright (W 8 x 13) =	13.0 plf	x	11.50 ft			= 149.50 lbs
Front Ledger (W6x9) =	9 plf	x	4.50 ft			= 40.50 lbs
Rear Ledger (W6x9) =	9 plf	x	4.2 ft			= 37.80 lbs
Misc. 10% =						= 99.99 lbs
						P_{DL} = 1099.9 lbs

X1 =	4.5	in
X2 =	4.5	in

Try: 1/2 ø A325 Bolts A_{bolt} = 0.196 in²

$$M_{total} = 8.39 \text{ ft-k}$$

$$V = 1.100 \text{ k}$$

$$I = 4 (4.5)^2 + 4 (9.0)^2 = 405 \text{ in}^4$$

$$T = \frac{8.39}{405} \times 12 \times 9.0 = 2.24 \text{ k/bolt}$$

$$V = \frac{1.10}{8 \text{ bolts}} = 0.14 \text{ k/bolt}$$

$$F_r = 45 \text{ ksi}$$

$$f_r = \frac{2.24 \text{ k}}{0.196 \text{ in}^2} = 11 \text{ ksi}$$

$$f_r < F_r \text{ OK}$$

USE : (8) - 1/2 ø A325 BOLTS



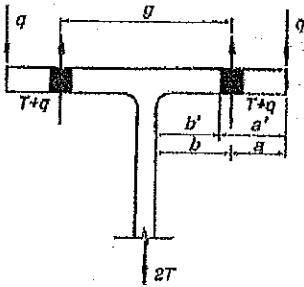
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TITLE:
 UPRIGHT FLANGE BENDING

JOB #:
 ENG. #: G-10968
 DATE: May-18
 BY: FS
 SHEET: 10

UPRIGHT FLANGE BENDING: Prying action governs design. Design flange thickness per

AISC 13th Edition on pg. 9-10



a) prying forces in tee

Check Saddle Beam :

W8X13

T = 2.24 K	t _f = 0.255 in.
b _f = 4.00 in.	b' = 0.76
t _w = 0.230 in.	b = 1.01 in.
gage = 2.25 in.	δ = 0.75
d _{bol} = 0.5 in.	α' = 1
d' _{bol} = 0.563 in.	β = 4.355
B = 8.83 K	ρ = 0.6756
p = 2.25 in.	a' = 1.125
	F _u = 65 ksi

$t_{min} = 0.210 \text{ in.} < 0.255 \text{ in. OK}$

NOTE : 1. Add 1/4" stiffeners b/w Bolts.

$$t_{min} = \sqrt{\frac{6.66Tb'}{pF_u(1 + \delta\alpha')}}$$

Where : F_u = Specified minimum tensile strength of connecting element, ksi.

$\delta = 1 - \frac{d'}{p}$ ratio of the net area at bolt line to gross area out face of the stem or leg of angle.

$\alpha' = 1$ if $\beta \geq 1$

$\alpha' =$ the lesser of 1 and $\frac{1}{\delta} \left(\frac{\beta}{1-\beta} \right)$ if $\beta < 1$

$\beta = \frac{1}{\rho} \left(\frac{B}{T} - 1 \right)$ $\rho = \frac{b'}{a'}$

$a' = \left(a + \frac{d_b}{2} \right) \leq \left(1.25b + \frac{d_b}{2} \right)$ $b' = \left(b - \frac{d_b}{2} \right)$

T = Required strength, klps

b = Distance from bolt centerline to the face of the tee stem, in.

d_b = Bolt diameter, in.

a = distance from the bolt centerline to the edge of the fitting, in.

B = available tension per bolt per Table 7-2

p = Tributary length per pair of bolts for a tee. Which should preferably not to exceed the gage between the pair of bolts, g



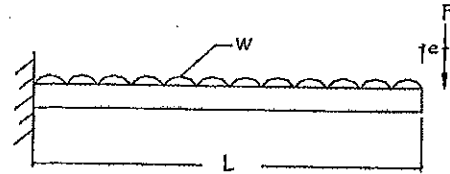
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TITLE:
 SPREADER DESIGN

JOB #:
 ENG. #: G-10968
 DATE: May-18
 BY: FS
 SHEET: 11

SPREADERS : SPREADERS CANTILEVER FROM FIXED CONNECTION AT TORSION

e =	1	ft
V-size =	10	ft
MAX CANTILEVER = (V-size) / 2 - 1 =	4	ft
SELF WTG. OF SPREADER, w =	0.016	k/ft
DEAD LOAD OF HEAD STRUCTURE, P =	1.100	k
M _{wind} FROM UPRIGHT =	6.19	ft-k



$$M_{self\ wtg.} = \frac{wl^2}{2} = \frac{0.016 \times (4)^2}{2} = 0.128 \text{ ft-k}$$

$$M_{DL\ of\ Head} = P(l + e) = 1.10 \times (4 + 1) = 5.5 \text{ ft-k}$$

$$M_{TOTAL} = M_{wind\ From\ Upright} + M_{self\ wtg.} + M_{DL\ of\ Head} = 11.82 \text{ ft-k}$$

USE: W 12 x 16

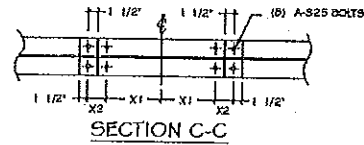
$$M_{allow} = 34 \text{ ft-k @ UBL} = 7 \text{ FT}$$

CONNECTION

DISREGARD BALANCED DEAD LOAD

x1 =	4	in
x2 =	8	in
Max Wind =	0.027	ksf
H _{Slip Face} =	11.50	ft
Upright Trib. =	11.33	ft

TRY :	5/8	DIA. BOLT
A _{bolt} =	0.307	in ²



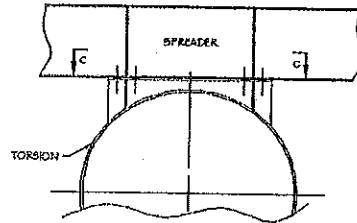
$$M_{TOTAL} = 11.8 + 6.19 = 18.0 \text{ ft-k}$$

$$V = 0.027 \times 11.5 \times 11.33 = 3.52 \text{ k}$$

$$I = 4(4)^2 + 4(12)^2 = 640 \text{ in}^4$$

$$T = \frac{18.0}{640} \times 12 \times 12 = 4.05 \text{ k/bolt}$$

$$V = \frac{3.52}{8 \text{ bolt}} = 0.44 \text{ k/bolt}$$



$$\text{Check Stresses : } f_T = \frac{4.05 \text{ k}}{0.307 \text{ in}^2} = 13.214 \text{ ksi} < F_T = 45 \text{ ksi} \text{ OK}$$

$$f_V = \frac{0.44 \text{ k}}{0.307 \text{ in}^2} = 1.43 \text{ ksi} < F_V = 24 \text{ ksi} \text{ OK}$$

USE : (8) - 5/8 DIA. A325 BOLTS
 Provide 1/4" plate x fit x fit Stiffeners



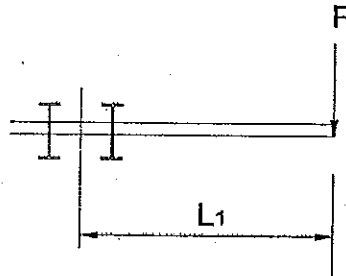
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TITLE:
 TORSION DESIGN

JOB #:
 ENG. #: G-10968
 DATE: May-18
 BY: FS
 SHBET: 12

TORSION DESIGN: TRY: 12" X 0.250 PIPE

WDL Torsion = 0.036 klf W_{Spreader} = 0.016 klf L₁ = 7 ft
 P_{DL} = 1.11 k L_{Spreader} = 8 ft L₂ = 0 ft
 wind = 0.027 ksf L_{Torsion} = 7
 Sign height = 11.5 ft
 Sign length = 22.67 ft
 bot. of upright to center of torsion = 1 ft



DEAD LOADS

$$P_{DL} = 2 \times 1.11 + (8 \times 0.016) = 2.35 \text{ k}$$

$$V_{DL} = 1 \times 2.35 + (7 \times 0.036) = 2.60 \text{ k}$$

$$M_{DL} = 2.35 (7) + (0.036) \left(\frac{7}{2} \right)^2 = 17.318 \text{ ft-k}$$

WIND LOADS

$$P_{wind} = 0.027 \times 11.50 \times 22.67 = 7.04 \text{ k}$$

$$V_{wind} = 0.027 \times 11.50 \times 11.34 \times (5/3) = 5.87 \text{ k}$$

$$M_{wind} = 7.04 \times 0.2 \times 22.67 = 31.91 \text{ ft-k}$$

$$Torsion = 5.87 \times \left(\frac{11.50}{2} - 1 \right) = 27.86 \text{ ft-k}$$

COMBINED LOADS

$$V = \sqrt{V_{DL}^2 + V_{wind}^2}$$

$$V = 6.42 \text{ ft-k}$$

$$M = \sqrt{M_{DL}^2 + M_{wind}^2}$$

$$M = 36.31 \text{ ft-k}$$

Torsion = 27.86 ft-k

USE: 12" Ø x 0.250 PIPE

F_y = 35 ksi

(SEE ATTACHED SHTS 13 & 14)



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TITLE: Torsion

JOB #: G-10968
 ENG. #: May-18
 DATE: FS
 BY: 13
 SHEET:

Pipe Properties:

Dia. = D =	12.75 (in)	S =	30.1 (in ³)
Wall = t =	0.250 (in)	I =	192 (in ⁴)
F _y =	35 (ksi)	Z =	39.1 (in ³)
D/t =	51 Compact Section	A =	9.8 (in ²)
L =	14 (ft)	A _g =	9.1 (in ²)
L _v =	14 (ft)		

Nominal Flexural Strength:

Yielding

$$M_n = M_p = F_y Z =$$

113.9 kip-ft

Local Buckling (not applicable for Compact Section)

Noncompact Sections

$$M_n = \left(\frac{0.021E}{\frac{D}{t}} + F_y \right) S =$$

Slender Sections

$$M_n = \left(\frac{0.33E}{\frac{D}{t}} \right) S =$$

$M_n =$	113.9 kip-ft
---------	--------------


Nominal Shear Strength:

$$V_n = F_{cr} A_g / 2 =$$

$$F_{cr} = \text{Greater of } \frac{1.60E}{\sqrt{L_v/D} \left(\frac{D}{t} \right)^{5/4}} \text{ or } \frac{0.78E}{\left(\frac{D}{t} \right)^{3/2}} = 93.8 \text{ ksi}$$

$$F_{cr} \leq 0.6F_y \quad 21.0 \text{ ksi}$$

$V_n =$	96.0 kips
---------	-----------

	4425 N 24TH ST. - STE 200	TITLE: Torsion	JOB #:
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			SHEET: 14

Nominal Torsional Strength:

$$T_n = F_{cr} C$$

$$C = \frac{\pi (D-t)^2 t}{2} = 61.4 \text{ (in}^3\text{)}$$

$$F_{cr} = \text{Greater of } \frac{1.23E}{\sqrt{L/D} (D/t)^{3/4}} \text{ or } \frac{0.60E}{(D/t)^{3/2}} = 72.1 \text{ ksi}$$

$$F_{cr} \leq 0.6F_y = 21.0 \text{ ksi}$$

$T_n = 107.4 \text{ kip-ft}$

Nominal Compressive Strength:

Structures are relatively light and compression loads are minimal when compared to flexural stresses. Conservatively assume that $P_r/P_c = 0.05$.

Applied Loads:

$P_r =$	kips	$P_c = P_n / \Omega_p$ where $\Omega_p = 1.67$
$M_r =$	36.30 kip-ft	$M_c = M_n / \Omega_M$ where $\Omega_M = 1.67$
$V_r =$	6.4 kips	$V_c = V_n / \Omega_v$ where $\Omega_v = 1.67$
$T_r =$	28 kip-ft	$T_c = T_n / \Omega_T$ where $\Omega_T = 1.67$

$$\left(\frac{P_r}{P_c} + \frac{M_r}{M_c} \right) + \left(\frac{V_r}{V_c} + \frac{T_r}{T_c} \right)^2 = 0.881 < 1.0 \text{ Pipe OK}$$

Final Selection:

Use 12.75" Dia. X 0.25" Wall - 35 ksi steel



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TITLE:
 TORSION/COLUMN CONNECTION

JOB #: G-10968
 ENG. #: May-18
 DATE: FS
 BY: 15
 SHEET:

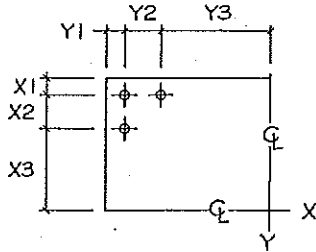


PLATE SIZE = 22 in. Square
 Sign Height = 11.5 ft
 Sign Length = 22.67 ft
 $P_{wind} = 7.04$ k
 $M_{torsion} = 32$ ft-k

# OF BOLTS =	12	Bolt dia. =	3/4 in
bolts in x-direction			
x1 =	1.50 in	# of bolt in row 1 =	4
x2 =	3 in	# of bolt in row 2 =	2
x3 =	6.5 in		
bolts in y-direction			
Y1 =	1.50 in	# of bolt in row 1 =	4
Y2 =	3 in	# of bolt in row 2 =	2
Y3 =	6.5		

$P_{DL} = 2.35$ k (From Torsion design) # of point loads = 2
 Wtg. of Torsion pipe = 0.036 klf $M_{DL} = P_{total} (.05x \text{ Sign Length})$
 Length of Torsion pipe = 14 ft $M_{DL} = 5.90$ ft-k
 $P_{Total} = 5.20$ k

4 bolts x $(3.0 + 6.50)^2 \times 2$ sides = 722 in⁴ $c = 3.0 + 6.50 = 9.50$ in
 2 bolts x $(6.50)^2 \times 2$ sides = 169 in⁴ $r_x = 3.0 + 6.50 = 9.50$ in
 $I_{xx} = 891$ in⁴ $r_y = 3.0 + 6.50 = 9.50$ in
 $I_{yy} = 891$ in⁴ $r = \sqrt{r_x^2 + r_y^2} = 13.4$ in
 $I_{Total} = 1782$ in⁴

$M_{wind} = 7.04 \times \frac{11.5}{2} - 0.25 = 38.72$ ft-k

$T_{bolt} = \left(\frac{38.72 + 5.90}{891} \right) \times 12 \times 9.50 = 5.7$ k/bolt

$V_{bolt} = \left(\frac{32.00}{1782} \right) \times 12 \times 13.4 + \frac{7.04}{12 \text{ BOLTS}} = 3.5$ k/bolt

BOLT STRESSES

$f_T = \frac{5.7 \text{ k}}{0.442 \text{ in}^2} = 12.9 \text{ ksi} < \text{OK}$ $f_V = \frac{3.5 \text{ k}}{0.442 \text{ in}^2} = 7.9 \text{ ksi} < \text{OK}$

$F'_T = 1.3 F_{nt} - \frac{\Omega F_{nt}}{F_{nv}} f_V$

where: $F_{nt} = 90$ ksi for A325N bolts per Table J3.2 AISC 13TH Edition
 $F_{nv} = 48$ ksi
 $\Omega = 2$

$F'_T = 43.7 \text{ ksi} > f_T$ OK
 $T_{allow} = 19.3$ k

USE (12) 3/4 " DIA. A325 BOLTS



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TITLE:

TORSION SADDLE BEAM

JOB #:

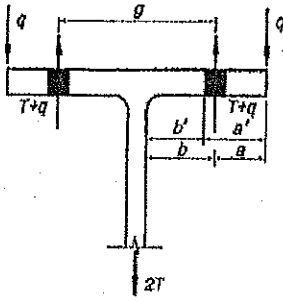
ENG. #: G-10968

DATE: May-18

BY: FS

SHEET: 16

TORSION SADDLE BEAM : Prying action governs design. Design flange thickness per AISC 13th Edition on pg. 9-10



a) prying forces in tee

Check Saddle Beam :

W16X40

T = 5.70 K	$t_f = 0.505$ in.
$b_f = 7.00$ in.	$b' = 1.2225$
$t_w = 0.305$ in.	$b = 1.60$ in.
gage = 3.5 in.	$\delta = 0.7292$
$d_b = 0.75$ in.	$\alpha' = 1$
$d_b' = 0.813$ in.	$\beta = 4.147$
B = 19.3 K	$\rho = 0.5753$
p = 3 in.	$\alpha' = 2.125$
$F_u = 65$ ksi	

$$t_{min} = 0.371 \text{ in.} < 0.505 \text{ in. OK}$$

$$t_{min} = \sqrt{\frac{6.66Tb'}{pF_u(1 + \delta\alpha')}}$$

Where : F_u = Specified minimum tensile strength of connecting element, ksi.

$$\delta = 1 - \frac{d'}{p} \quad \text{ratio of the net area at bolt line to gross area out face of the stem or leg of angle.}$$

$$\alpha' = 1 \text{ if } \beta \geq 1$$

$$\alpha' = \text{the lesser of } 1 \text{ and } \frac{1}{\delta} \left(\frac{\beta}{1 - \beta} \right) \text{ if } \beta < 1$$

$$\beta = \frac{1}{\rho} \left(\frac{B}{T} - 1 \right) \quad \rho = \frac{b'}{a'}$$

$$\alpha' = \left(a + \frac{d_b}{2} \right) \leq \left(1.25b + \frac{d_b}{2} \right) \quad b' = \left(b - \frac{d_b}{2} \right)$$

T = Required strength, kips

b = Distance from bolt centerline to the face of the tee stem, in.

d_b = Bolt diameter, in.

a = distance from the bolt centerline to the edge of the fitting, in.

B = available tension per bolt

p = Tributary length per pair of bolts for a tee. Which should preferably not to exceed the gage between the pair of bolts, g

d_b' = Width of the hole along the length of the fitting, in.



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TITLE:

COLUMN DESIGN

JOB #:
 ENG. #: G-10968
 DATE: May-18
 BY: FS
 SHEET: 17

COLUMN DESIGN: TRY: 20 X 0.375 in PIPE $F_y = 35$ ksi

wind = 0.027 ksf $M_{DL} = 6.00$ ft-k (From Torsion/Column Connection)
 Sign height = 11.5 ft Torsion = 32 ft-k (From Torsion design)
 Sign length = 22.67 ft
 O.A. HEIGHT = 35 ft
 H.A.G.L. = 23.5 ft

$$P_{wind}^F = 0.027 \times 11.5 \times 22.7 = 7.04 \text{ k}$$

$$P_{wind}^{col} = 0.027 \times 1.67 \times 24 = 1.06 \text{ k}$$

$$\underline{P_{wind \text{ total}} = 8.10 \text{ k}}$$

$$M_{DL} = 6.00 \text{ ft-k}$$

$$M_{wind} = 7.04 \times \left(\frac{11.5}{2} + 24 \right) + 1.06 \times \left(\frac{23.5}{2} \right) = 218.32 \text{ ft-k}$$

$$M_{bending} = \sqrt{M_{DL}^2 + M_{wind}^2} = \underline{218.40 \text{ ft-k}}$$

USE: 20 " ϕ X 0.375 PIPE

$F_y = 35$ ksi

(SEE ATTACHED SHTS 18 & 19)

FOOTING DESIGN:

Moment, M = 218.40 ft-k

Pwind total, P = 8.10 k

$$h = \frac{M}{P} = \frac{218.40}{8.10} = 26.97 \text{ ft}$$

USE: 3.0 ft ϕ X 16 ft - 0.01in DEEP DRILLED FOOTING

(SEE ATTACHED SHT: 20)

OR

USE: 7.0 ft X 7 ft X 9 ft - 6.0in CUBE FOOTING

(SEE ATTACHED SHT 21)



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TITLE: Column

JOB #: G-10968
 ENG. #: May-18
 DATE: FS
 BY: 18
 SHEET:

Pipe Properties:

Dia. = D =	20 (in)	S =	111.3 (in ³)
Wall = t =	0.375 (in)	I =	1113 (in ⁴)
F _y =	35 (ksi)	Z =	144.4 (in ³)
D/t =	53.333 Compact Section	A =	23.1 (in ²)
L =	25 (ft)	A _g =	21.5 (in ²)
L _v =	25 (ft)		

Nominal Flexural Strength:

Yielding

$$M_n = M_p = F_y Z =$$

421.3 kip-ft

Local Buckling (not applicable for Compact Section)

Noncompact Sections

$$M_n = \left(\frac{0.021E}{\frac{D}{t}} + F_y \right) S =$$

Slender Sections

$$M_n = \left(\frac{0.33E}{\frac{D}{t}} \right) S =$$

$M_n = 421.3 \text{ kip-ft}$


Nominal Shear Strength:

$$V_n = F_{cr} A_g / 2 =$$

$$F_{cr} = \text{Greater of } \frac{1.60E}{\sqrt{L_v/D} \left(\frac{D}{t} \right)^{5/4}} \text{ or } \frac{0.78E}{\left(\frac{D}{t} \right)^{3/2}} = 83.1 \text{ ksi}$$

$$F_{cr} \leq 0.6F_y \quad 21.0 \text{ ksi}$$

$V_n = 226.1 \text{ kips}$

	4425 N 24TH ST. - STE 200	TITLE: Column	JOB #:
	PHOENIX, AZ 85016		ENG. #: G-10968
	602-230-8634 / 800-525-8509		DATE: May-18
	FAX 602-230-9071		BY: FS
			SHEET: 19

Nominal Torsional Strength:

$$T_n = F_{cr} C$$

$$C = \frac{\pi (D-t)^2 t}{2} = 226.9 \text{ (in}^3\text{)}$$

$$F_{cr} = \text{Greater of } \frac{1.23E}{\sqrt{L/D} (D/t)^{5/4}} \text{ or } \frac{0.60E}{(D/t)^{3/2}} = 63.9 \text{ ksi}$$

$$F_{cr} \leq 0.6F_y = 21.0 \text{ ksi}$$

$$T_n = 397.0 \text{ kip-ft}$$

Nominal Compressive Strength:

Structures are relatively light and compression loads are minimal when compared to flexural stresses. Conservatively assume that $P_r/P_c = 0.05$.


Applied Loads:

$P_r =$	kips	$P_c = P_n / \Omega_p$ where $\Omega_p = 1.67$
$M_r =$	219.00 kip-ft	$M_c = M_n / \Omega_M$ where $\Omega_M = 1.67$
$V_r =$	8.1 kips	$V_c = V_n / \Omega_V$ where $\Omega_V = 1.67$
$T_r =$	32 kip-ft	$T_c = T_n / \Omega_T$ where $\Omega_T = 1.67$

$$\left(\frac{P_r}{P_c} + \frac{M_r}{M_c} \right) + \left(\frac{V_r}{V_c} + \frac{T_r}{T_c} \right)^2 = 0.956 < 1.0 \text{ Pipe OK}$$

Final Selection:

Use 20" Dia. X 0.375" Wall - 35 ksi steel

	4425 N 24TH ST. - STE 200 PHOENIX, AZ 85016 602-230-8634 / 800-525-8509 FAX 602-230-9071	TITLE: FOOTING DESIGN	JOB #: ENG. #: G-10968 DATE: 22-May-18 BY: FS SHBET: 20

Nonconstrained Embedded Pole Footing Design

Round Pole Footing

Design based on CBC or IBC section 1807.3.2.1.

$$d = \frac{A}{2} \left(1 + \sqrt{1 + \frac{4.36h}{A}} \right)$$

Where:

$$A = \frac{2.34P}{S_1 b}$$

b = diameter of round post or footing. (ft)

q = allowable lateral soil bearing pressure. (ksf/ft)

d = actual depth of embedment in earth. (ft)

h = distance in feet from ground surface to point of application of 'P'

P = applied lateral force. (k)

S_1 = allowable lateral soil-bearing pressure as based on a depth of one third the depth of embedment, 12' maximum depth for this consideration. (ksf/ft)

Data:

$b = 3$

$q = 0.3$

$h = 26.97$

$P = 8.1$

$S_1 = 1.2$

$A = 5.265$

$d = 15.35$

use 16'-0"

Use 3'-0" Diameter by 15'-6" deep drilled footing



4425 N 24TH ST. - STE 200
PHOENIX, AZ 85016
602-230-8634 / 800-525-8509
FAX 602-230-9071

TITLE: FOOTING DESIGN

JOB #:
ENG. #: G-10968
DATE: 22-May-18
BY: FS
SHEET: 21

Nonconstrained Embedded Pole Footing Design

Square or Rectangular Footing

Design based on UBC section 1806.8.2.1 or IBC section 1805.7.

$$d = \frac{A}{2} \left(1 + \sqrt{1 + \frac{4.36h}{A}} \right)$$

Where:

$$A = \frac{2.34P}{S_1 b}$$

b = diagonal dimension of square or rectangular footing. (ft)

t = plan thickness of square or rectangular footing. (ft)

w = plan width of square or rectangular footing. (ft)

q = allowable lateral soil bearing pressure. (ksf/ft)

d = actual depth of embedment in earth. (ft)

h = distance in feet from ground surface to point of application of 'P'

P = applied lateral force. (k)

S_1 = allowable lateral soil-bearing pressure as based on a depth of one third the depth of embedment, 12' maximum depth for this consideration. (ksf/ft)

Data:

$$b = 9.899 \quad b = \sqrt{t^2 + w^2} \quad t = 7$$

$$q = 0.3 \quad w = 7$$

$$h = 26.97$$

$$P = 8.1$$

$$S_1 = 0.903$$

$$A = 2.12$$

$$d = 9.026$$

Use 7'-0" by 7'-0" by 9'-6" deep cube footing



POPLAR STREET (80')

LOT 1

LOT 2

LOT 3

LOT 4

LOT 5

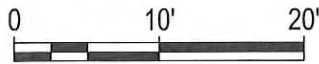
LIGHT ARM (TYP)

SIGN INFORMATION
 10.5' TALL
 22.5' WIDE
 5.0' SIDE ARMS WITH LIGHT ON END
 POSITIONED IN THE NW CORNER OF LOT 4

M:\Land 2018\Surveying\18-121 Lamar Signs\Lamar Sign Lot 4.dwg, 2/16/2018, Survey



Civil Engineering Professionals, Inc.
 6080 Enterprise Drive, Casper, WY 82609
 Phone 307.266.4346 Fax 307.266.0103
 www.cepi-casper.com



LAMAR SIGN EXHIBIT
 1329 South Poplar Street
 Lot 4 Block 159, City of Casper,
 Natrona County, Wyoming
 February, 2018
 W.O. 18-121

OCT 12 2018

504 Milton Ave
Casper WY 82601
October 10, 2018

Community Development Department
200 N David, Room 200
Casper, WY 82601

Dear Community Development Department,

I am Valarie White and I am wanting to voice my opposition to the proposed off-premise sign, (billboard) at 1329 South Poplar, Casper WY. I am adamantly opposed to this billboard. I own 1321 South Poplar, Casper WY, the property directly to the north of the proposed site for the billboard. This billboard would completely block all sunlight and view from the upper apartment rendering this apartment, next to impossible to rent. The only view this apartment would have would be the back side of the billboard.

I currently have this apartment rented to a couple who have lived there 4 years. If this billboard goes up, they will definitely be looking for another place to live. I am a widowed, single woman that realize on this property for my livelihood. I have a mortgage on this property and I rely on the rent to pay this mortgage. Not only would this billboard impact the rent, it would also diminish the value of my property.

I believe there are plenty of distractions on Poplar Street for drivers already. This billboard would only add to that problem and could, potentially, become a safety issue.

I am a Casper native and have always thought Casper was a very pretty town. I hate to see Casper allowing more billboards in the city, which would take away from the beauty of the city.

I appreciate the opportunity to voice my opposition and concerns for this proposed off-premise sign permit. I look forward to attending the meeting October 18, 2018.

Sincerely,



Valarie White
V & T Rentals LLC

October 12, 2018

MEMO TO: Don Redder, Chairman
Members, Planning and Zoning Commission

FROM: Liz Becher, Community Development Director
Craig Collins, AICP, City Planner

SUBJECT: **PLN-023-S** – Site plan (design) approval for the construction of a commercial center, including a bank, a restaurant, and retail spaces (15,400 total square feet of building footprints), on Lot 1, Topol Addition, located at 4140 Centennial Hills Boulevard. Applicant: True Land and Realty.

Recommendation:

If, after the required public hearing, the Planning and Zoning Commission finds that the site plan meets the minimum requirements of the Casper Municipal Code, staff recommends that the Planning and Zoning Commission approve the site plan with the following conditions:

1. All on-site lighting shall be designed to reduce off-site glare and light pollution. All exterior lighting fixtures, including both building and parking lot lighting, shall be fully shielded (full-cutoff). Pursuant to the Casper Municipal Code, no light pole may be taller than thirty (30) feet in height.
2. The applicant shall provide a standard five (5) foot wide sidewalk connection from the internal sidewalks on the site to the pedestrian trail along Wyoming Boulevard.
3. Prior to the issuance of a building permit, the applicant shall obtain both City and WYDOT approval of an engineered drainage study, and shall remove existing drainage easements, and establish new ones, via a replat.
4. Prior to the issuance of a building permit or a permit to construct public improvements, water line easements shall be provided in a form acceptable to the City for mains and fire hydrants on the site.

Code Compliance:

Staff has complied with all public notice requirements of Section 17.12.150 of the Casper Municipal Code pertaining to site plans, including notification of property owners within three hundred (300) feet by first class mail, posting a sign on the property, and publishing legal notice in the Casper Star-Tribune. Staff has received two (2) public comments on this case, which have been included for the Commission's review.

The Planning and Zoning Commission is the final reviewing authority for all site plans for commercial buildings with a footprint over 20,000 square feet, but less than 43,560 square feet.

The actions available to the Planning and Zoning Commission are to approve; approve with conditions; deny; or continue to a future Planning and Zoning Commission meeting. In the event that the Planning and Zoning Commission denies the site plan, the applicant may appeal that decision to the City Council, pursuant to Section 17.12.150(G) of the Casper Municipal Code.

Section 17.12.150(D) of the Casper Municipal Code provides the review criteria for the approval of a site plan. Those criteria include whether the site plan is compatible with the goals and policies of many of the City's adopted plans. Other design-related criteria for the approval of a site plan include the following:

- Promote the efficient use of land by means of a sound arrangement of buildings, safe and functional points of access, well planned parking circulation systems, and adequate sidewalks and pathways for pedestrians.
- Provide for landscaping, and within high density housing complexes, usable open space, such as, but not limited to, bicycle paths, playground areas, courtyards, areas for active recreation, swimming pools, landscaping, gardens, walks, outdoor seating areas, outdoor picnic areas, and similar open space.
- Preserve and utilize where possible, existing landscape features and amenities, and blend such features with the new structures and other improvements.

Summary:

True Land and Realty has applied for site plan approval for the construction of a commercial center, including a bank, a restaurant, and retail spaces (15,400 total square feet of building footprints), at 4140 Centennial Hills Boulevard, directly west of the Casper Orthopedic Center. The subject property is 2.7-acres in size, is zoned C-2 (General Business), and is surrounded by commercial zoning/uses to the south and east, and residential zoning/uses to the north and west. The parcel is bordered by SE Wyoming Boulevard, a State highway, to the west; and Centennial Hills Boulevard, a City street, on the south. The anticipated land uses to be located on the property are all legal and conforming in the C-2 (General Business) zoning district, and are also in compliance with the additional land use restrictions that were placed on the property during the initial approval of the subdivision and the execution of the Subdivision Agreement.

Sheet LS101 of the site plan provides a shared parking analysis, which the applicant feels justifies a reduction in the cumulative number of parking spaces that are being provided on the site. Section 17.12.070(A)(11) of the Municipal Code allows the Planning and Zoning Commission to approve shared parking for mixed-use occupancies when it can be demonstrated that the peak requirement of the occupancies occur at different times of day. Based on the types of uses, and maximum size of the proposed buildings, the Municipal Code requires a total of 103 parking spaces, if each building/use is considered independently. The applicant is proposing to provide a total of 85 spaces, based on the analysis provided. Staff has reviewed the analysis, finds it to be a reasonable assumption of parking needs, and supports the concept as an efficient use of the land, and having positive impacts on stormwater management.

A traffic study has been completed, and approved by the City Engineer. One of the primary considerations of the study was the access to the site off of Centennial Hills Boulevard. The

access is much closer to the adjacent access to the Orthopedic Center than is typically allowed. The traffic study suggested that the negative effects of the proximity of the new access could be adequately mitigated by making the new access right-in, right-out only, and prohibiting all left turns. Full access to the site, including left turns, is available at the Orthopedic Center entrance.

Given the proximity of the site to nearby residences, compatibility must be assured. The site plan shows a denser landscaped buffer along the north side of the property, between the commercial center and the existing residences. In addition, there is a significant difference in elevation between the subject property and the existing residences, which further mitigates any negative effects. Finally, on-site exterior lighting will be appropriately designed to utilize fully shielded, full-cutoff fixtures which will not impact neighbors, or cause glare issues for motorists on adjacent streets.

Section 17.12.150 of the Casper Municipal Code requires that the site plan be reviewed in the context with its compatibility with adopted plans, specifically, the Comprehensive Land Use Plan. The Comprehensive Land Use Plan is the City's land use and development policy document that describes the values and ideals expressed by the community for its future during an intensive, year-long public input process. Chapter Three (3) of the Comprehensive Land Use Plan provides principles and goals. Elements of Chapter Three (3) that may be applicable to the Commission during its review of the site plan have been summarized below:

- **Goal ECH1-2** – *Commercial and Employment Space*: “Promote the redevelopment of underutilized commercial and industrial space to accommodate new uses.” (pg. 3-5)
- **Goal ECH3-3** – *Landscaping*: “Require new commercial, office and multi-family development to install and maintain quality, context sensitive, and sustainable landscaping along major streets to achieve the goals of the specific area of development.” (pg. 3-6)
- **Goal ECH4-4** – *Night Sky*: “Encourage dark sky friendly lighting to reduce energy, increase safety, and protect ecological processes.” (pg. 3-6)
- **Goal VUC1-2** – *Neighborhood Services*: “Enhance the cohesiveness and identity of residential neighborhoods by encouraging a healthy mixture of commercial, employment, neighborhood services (coffee shops, grocery stores, and restaurants), and cultural uses that support the everyday needs of these residents.” (pg. 3-9)
- **Goal VUC2-6** – *Stationary Vehicle Management*: “As demand increases, manage parking by encouraging shared parking, redesign of streets to accommodate on-street parking, and investing in new types of parking garages that serve multiple purposes.” (pg. 3-10)

- **Goal UQL2-2 – *Mixed Use Neighborhoods*:** “Provide for commercial uses in and adjacent to residential neighborhoods in a manner that contributes to the neighborhood’s integrity and identity through thoughtful design of signage, lighting, buffers, and parking.” (pg. 3-23)

Topol Commercial Development



E 14TH ST

STAFFORD CT

SE WYOMING BLVD

E 15TH ST

CENTENNIAL HILLS BLVD

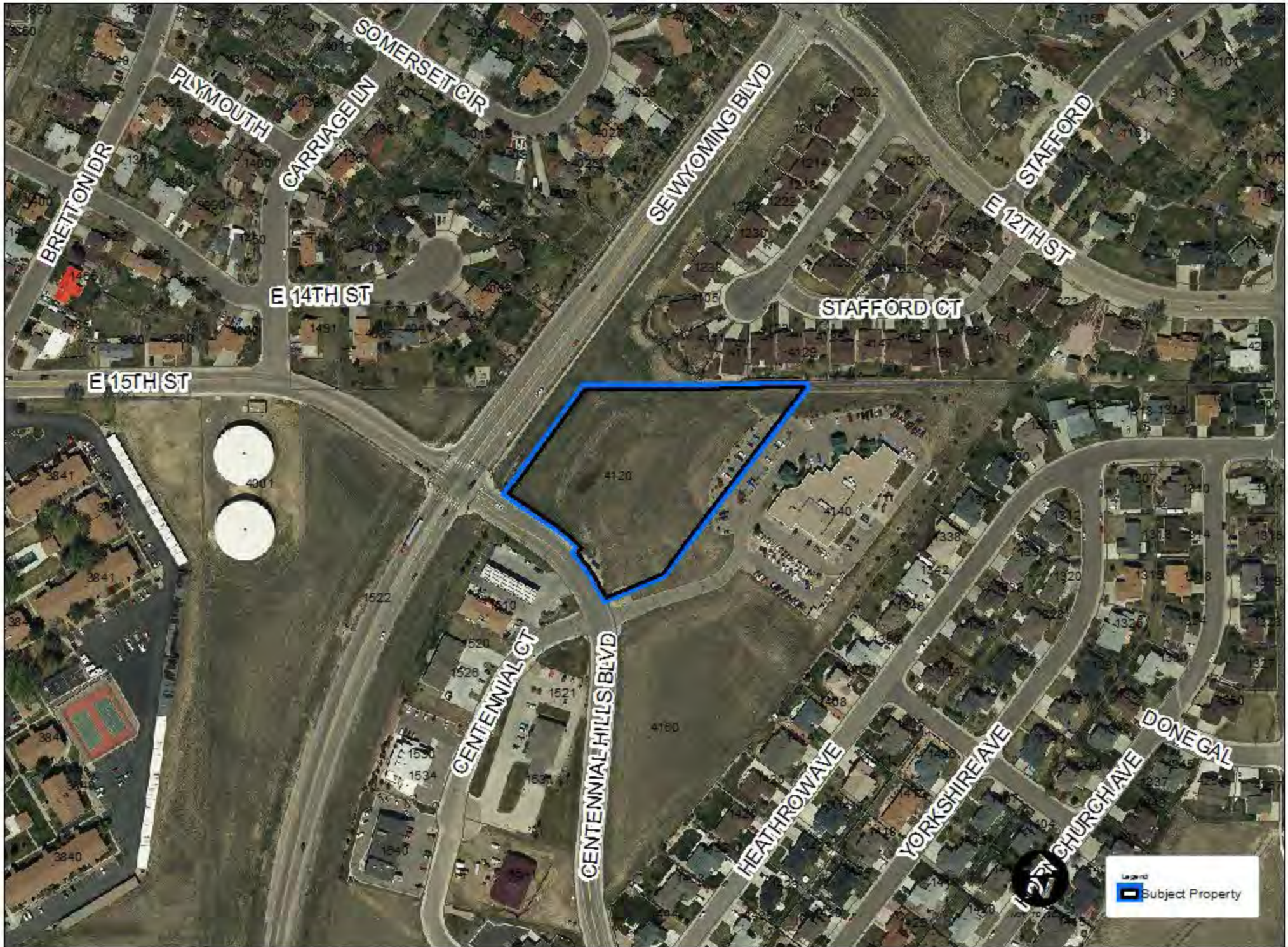
CENTENNIAL CT



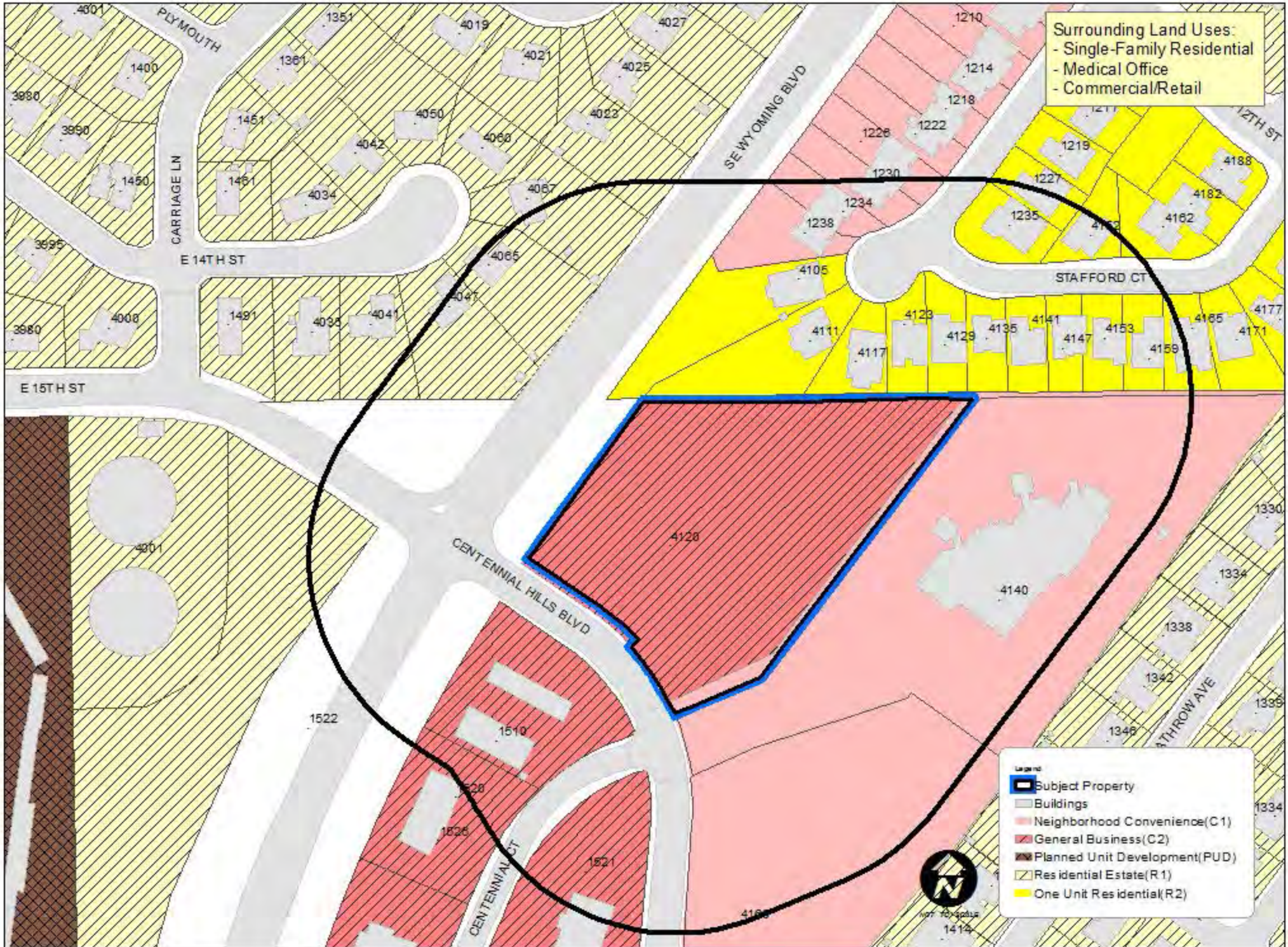
Legend
■ Subject Property

NOT TO SCALE

Topol Commercial Development



Topol Commercial Development



GENERAL NOTES

EXISTING UNDERGROUND UTILITIES

THE INFORMATION SHOWN ON THE DRAWINGS CONCERNING THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AND OTHER APPURTENANCES IS FROM MAPS, DRAWINGS AND ATLAS SHEETS PROVIDED BY THE OWNERS OF THE UTILITIES. THIS INFORMATION MAY NOT BE ACCURATE, COMPLETE, OR CURRENT AND SHALL BE CONSIDERED APPROXIMATE. EXISTING WATER AND SANITARY SEWER SERVICES MAY NOT BE SHOWN ON THE DRAWINGS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE LOCATIONS OF ALL UNDERGROUND UTILITIES AND APPURTENANCES THAT COULD BE AFFECTED BY THE WORK AT LEAST THREE(3) DAYS PRIOR TO CONSTRUCTION. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND ASSIST IN DEVELOPING A PLAN TO REMEDY THE CONFLICT. LOCATIONS MAY BE OBTAINED BY PRELIMINARY EXCAVATION OR "POTHOLING". THE ENGINEER AND OWNER SHALL NOT BE HELD ACCOUNTABLE FOR THE COMPLETENESS OR ACCURACY OF THE UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY THE LOCATE CALL CENTER (WYOMING ONE-CALL 1-800-849-2476) AND SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO CONSTRUCTION ACTIVITIES.

WATER SYSTEM

- (1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF CASPER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND INFRASTRUCTURE IMPROVEMENTS, DIVISION 500, WATER SYSTEMS, EXCEPT AS SPECIFICALLY MODIFIED BY THESE PLANS AND SPECIFICATIONS.
- (2) MINIMUM COVER ABOVE WATERLINES SHALL BE 6', UNLESS OTHERWISE SHOWN.
- (3) MINIMUM COVER ABOVE FIRE HYDRANT LEAD PIPES SHALL BE 6'.
- (4) VALVES, FITTINGS, AND FIRE HYDRANTS SHALL BE FOR SOILS OF HIGH CORROSIVITY.
- (5) WHERE POSSIBLE PUSH-ON JOINTS (NOT BOLTED) SHALL BE USED.
- (6) WATER PIPE MATERIAL:
 - (a) PIPE CLASS SHALL BE DR 18 "CLASS 235" UNLESS SHOWN OTHERWISE.
 - (b) 6"-12" PIPE SHALL BE PVC PER AWWA C900.
 - (c) 6"-8" BENDS, FITTINGS, AND SLEEVES SHALL BE PVC PER AWWA C907 AND C905 WHERE POSSIBLE.

- (7) CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- (8) CONNECTIONS INTO EXISTING WATER MAINS SHALL BE COORDINATED WITH THE CITY OF CASPER PUBLIC UTILITIES.
- (9) ALL HYDRANTS SHALL BE EQUIPPED WITH 5" STORZ PUMPER NOZZLE.
- (10) SERVICE SADDLES SHALL BE BRASS WITH STAINLESS STEEL BANDS, FORD STYLE 202B OR 202BS WITH C.C. THREAD OR APPROVED EQUAL.
- (11) COMPLY TO ALL "NO LEAD/LOW LEAD" CURRENT STANDARDS FOR POTABLE WATER APPLICATIONS.
- (12) CURB STOPS THAT FALL IN CONCRETE SURFACING MUST UTILIZE CURB BOX RECEPTACLE.

SANITARY SEWER SYSTEM:

- (1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT EDITION OF THE CITY OF CASPER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND INFRASTRUCTURE IMPROVEMENTS, DIVISION 600, SANITARY SEWAGE COLLECTION SYSTEMS, EXCEPT AS SPECIFICALLY MODIFIED BY THESE PLANS AND SPECIFICATIONS.

MISCELLANEOUS

- (1) ANY WATER/SEWER CROSSING THAT HAS LESS THAN 18" OF VERTICAL CLEARANCE BETWEEN PIPES SHALL REQUIRE FLOWFILL PER CITY OF CASPER STANDARD SPECIFICATIONS (DIVISION 500, SECTION 501.13, SECTION 501.06; DIVISION 200, SECTION 205.05) UNLESS OTHERWISE INSTRUCTED BY THE ENGINEER.
- (2) THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY TO COMPLY WITH FEDERAL, STATE, COUNTY, AND TOWN REGULATIONS INCLUDING WYDES THAT PROHIBIT DISCHARGE OF POLLUTANTS, INCLUDING SEDIMENTS THAT ARE A RESULT OF EROSION OR OTHER CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL PROVIDE DUST CONTROL AND SHALL CONDUCT WORK SO THAT SEDIMENT IS NOT TRANSPORTED ONTO THE ROADWAY OR ADJACENT PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND MAINTAINING THE SWPPP.
- (3) THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND SAFETY OF HIS WORK AT ALL TIMES AND ADHERE TO OSHA STANDARDS AT ALL TIMES.
- (4) ANY DISTURBED GRASS AREAS SHALL BE REPLACED WITH SOD. PLACING OF SEED WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.
- (5) CONTRACTOR IS RESPONSIBLE FOR PREPARING, IMPLEMENTING, AND MAINTAINING ALL TRAFFIC CONTROL PLANS AND MEASURES, AS APPROVED BY THE CITY OF CASPER AND MEET ALL MUTCD STANDARDS.

ASPHALTIC CONCRETE AND SITE CONCRETE

- (1) ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE CURRENT EDITION OF THE CITY OF CASPER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND INFRASTRUCTURE IMPROVEMENTS, EXCEPT AS SPECIFICALLY MODIFIED BY THESE PLANS AND SPECIFICATIONS.
- (2) ALL BASE COURSE SHALL BE CRUSHED BASE "GRADING W" AS SPECIFIED IN DIVISION 400 SECTION 402 OF THE CURRENT EDITION OF THE CITY OF CASPER STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION AND INFRASTRUCTURE IMPROVEMENTS.
- (3) PG 64-22 SHALL BE UTILIZED FOR ALL ASPHALT CONSTRUCTION.

LEGEND

- RECOVERED BRASS CAP
- RECOVERED CORNER
- EXISTING SIGN
- EXISTING TREE
- EXISTING BUSH
- EXISTING GUARD POST
- EXISTING TV PEDESTAL
- EXISTING GAS METER
- EXISTING GAS VALVE
- EXISTING GAS RISER
- EXISTING PIPELINE MARKER
- EXISTING POWER POLE
- EXISTING POWER TRANSFORMER
- EXISTING LIGHT POLE
- ↑ EXISTING GUY ANCHOR
- EXISTING ELECTRIC METER
- EXISTING ELECTRIC VAULT
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- EXISTING STORM MANHOLE
- EXISTING CURB INLET
- EXISTING TELEPHONE MARKER
- EXISTING TELEPHONE PEDESTAL
- EXISTING WATER VALVE
- EXISTING FIRE HYDRANT
- EXISTING CURB STOP
- EXISTING SPRINKLER VALVE BOX
- EXISTING SPRINKLER HEAD
- PROPERTY BOUNDARY
- X-X-X- EXISTING FENCE
- ⊕ ROAD
- EXISTING EDGE ASPHALT
- EXISTING EDGE CONCRETE
- EXISTING FLOWLINE
- EASEMENT
- 5280--- EX CONTOUR MAJOR
- 5281--- EX CONTOUR MINOR
- EXISTING PIPELINE
- G---G---G--- EXISTING GASLINE
- P---P---P--- EXISTING UNDERGROUND POWERLINE
- ST--- EXISTING STORM SEWER
- SA--- EXISTING SANITARY SEWER
- T---T---T--- EXISTING TELEPHONE
- W--- EXISTING WATERLINE
- C---C---C--- EXISTING CABLE TV
- OP---OP---OP--- EXISTING OVERHEAD POWER

- ⑮ SITE PLAN CHECKLIST KEYNOTE
- ⊕ PROPOSED WATER VALVE
- ⊕ PROPOSED FIRE HYDRANT
- ⊕ PROPOSED LIGHT POLE
- ⊕ PROPOSED SANITARY MANHOLE
- PROPOSED EDGE ASPHALT
- PROPOSED EDGE CONCRETE
- PROPOSED FLOWLINE
- G---G---G--- PROPOSED GASLINE
- ST--- PROPOSED STORM SEWER
- PROPOSED WATERLINE
- ▨ PROPOSED DETENTION

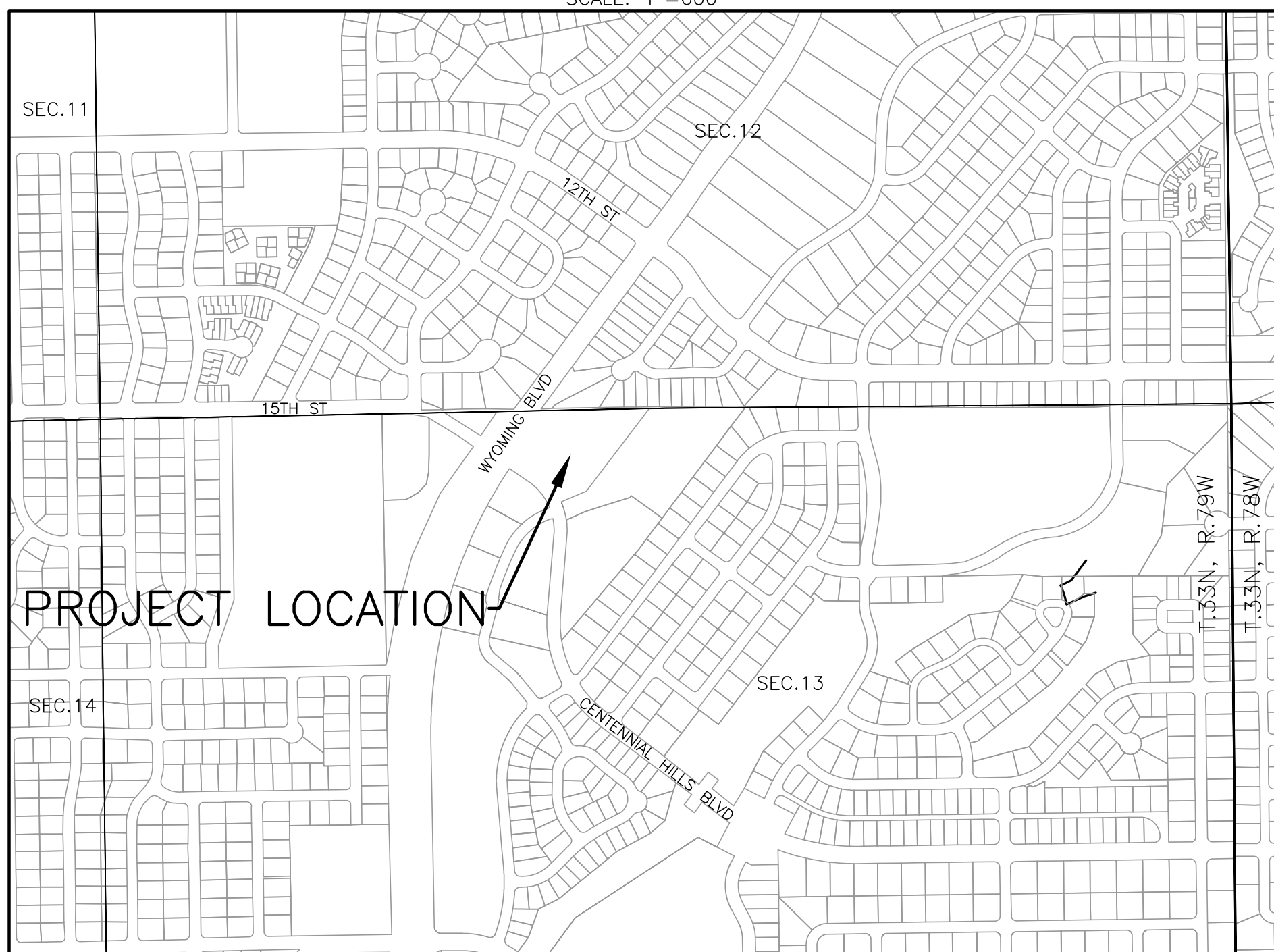
INDEX OF SHEETS

SHEET NO.	PLANS
C-100	SITE PLAN COVER
C-110	CIVIL SITE PLAN
C-120	STRIPING AND SIGN PLAN
LS101	OVERALL SITE PLAN
LP100	LANDSCAPE NOTES AND SCHEDULE
LP101	OVERALL LANDSCAPE PLAN
LPS01	LANDSCAPE DETAILS
LL101	SITE LIGHTING PLAN
8	TOTAL SHEETS

SITE PLAN CHECKLIST

1. Legal description and common address(es) of the proposed site:
LOT 1 OF TOPAL ADDITION
4120 CENTENNIAL HILLS BLVD.
2. Title block stating name of project, designer, and address and telephone number of designer:
PROJECT: TOPAL ADDITION SITE PLAN
ARCHITECT: RUSSEL+MILLS
506 S. COLLEGE AVE., UNIT A
FORT COLLINS, CO 80524
CIVIL ENGINEER: WLC ENGINEERING, SURVEYING, & PLANNING
200 PRONGHORN ST
CASPER, WY 82601
3. Surrounding land uses and zoning on all abutting sides, including those lands separated from the land under consideration by a street, alley, or other roadway:
ALL ZONING:
EAST- NEIGHBORHOOD CONVENIENCE (C1)
NORTH- ONE UNIT RESIDENTIAL (R2)
SOUTH- GENERAL BUSINESS (G2)
WEST- (Across Wyoming Boulevard) RESIDENTIAL ESTATE (R1)
4. Current zoning of the land under consideration and proposed zoning, if applicable:
CURRENT ZONING: C2
PROPOSED ZONING: C2
5. North arrow, scale of site plan at a scale of 1"=10' or a multiple thereof, and date site plan was prepared: AS SHOWN
6. Land area dimensions: AS SHOWN
7. Dimensions of all setbacks and heights of all proposed buildings:
SETBACKS: AS SHOWN
HEIGHTS: To Be Determined (TBD)
8. Location and dimensions of all proposed off-street loading dock areas, including street access and traffic flow to these areas: NONE PROPOSED
9. Location of all trash receptacles: AS SHOWN
10. Dimensions and locations of all advertising signs and fences:
SIGN: TBD
FENCES: TBD
11. Any screening or screening devices used to minimize or eliminate areas which tend to be unsightly: AS SHOWN
12. Location of existing and proposed exterior lighting, heights of poles, and size and number of fixture: SEE SHEET LL101
13. Names and widths of all adjacent streets; dimensions and location of all public and private roadways, streets, or driveways, both paved and unpaved, including rights-of-way, pavement width, and proposed uses of rights-of-way: AS SHOWN
14. Location and dimensions of existing and proposed curb cuts and sidewalks: AS SHOWN
15. Off-street parking spaces, locations and dimensions, layout, traffic control, compact and handicap parking spaces, including all surface markings such as directional arrows: LOCATION AND TOTALS AS SHOWN. SEE LS101
16. Location of all wheel stops, bumper guards, and curbing warranted by topography or traffic and pedestrian circulation: AS SHOWN
17. Types of ground or yard surfacing throughout, grass, paving, gravel, etc: SEE LP101
18. Existing and proposed easements: AS SHOWN
19. Vicinity map at a scale of 1"=600' clearly indicating the location of the land in question with respect to a larger recognizable area: AS SHOWN
20. General notes to include summary of:
 - a. Total land area in acres or square feet: 2.71 ACRES
 - b. Total building footprint in square feet: 2,500 SF, 4,100 SF, 3,200 SF, 2,800 SF, 2,800 SF BUILDING ENVELOPES.
 - c. Percentage of land covered by building: 13.0%
 - d. Building height(s): TBD
 - e. Number of stories and square footage per story of leaseable space: TBD
 - f. Total number of parking spaces required: SEE LS101
 - g. Total number of parking spaces proposed: SEE LS101
 - h. Square footage of all landscaped areas: SEE LP101
 - i. Percentage of site covered by landscaping: SEE LP101
 - j. Area to be disturbed by grading or construction: 2.71 AC
21. Numbering of items on the site plan to correspond to items on this checklist: AS SHOWN
22. Existing and proposed contours: AS SHOWN
23. Surface drainage plan for sites at 10,000 square feet or more: DRAINAGE SHOWN BY FLOW ARROWS
24. Pavement design report for parking areas:
ASPHALT PARKING: 4" PMP OVER 6" CRUSHED BASE
CONCRETE WALK: 4" PCCP OVER 4" CRUSHED BASE
25. Estimated number of trips per peak hour according to ITE Manual. If number is more than 75 trips per peak hour, a traffic study is required: SEE ATTACHED TRAFFIC STUDY

VICINITY MAP
SCALE: 1"=600'



TOPOL DEVELOPMENT
Casper, Wyoming



REV.	COMMENT	DATE

SEAL:

PRELIMINARY

Date: 10/10/18

Drawn By: JLS

Checked By: JLM

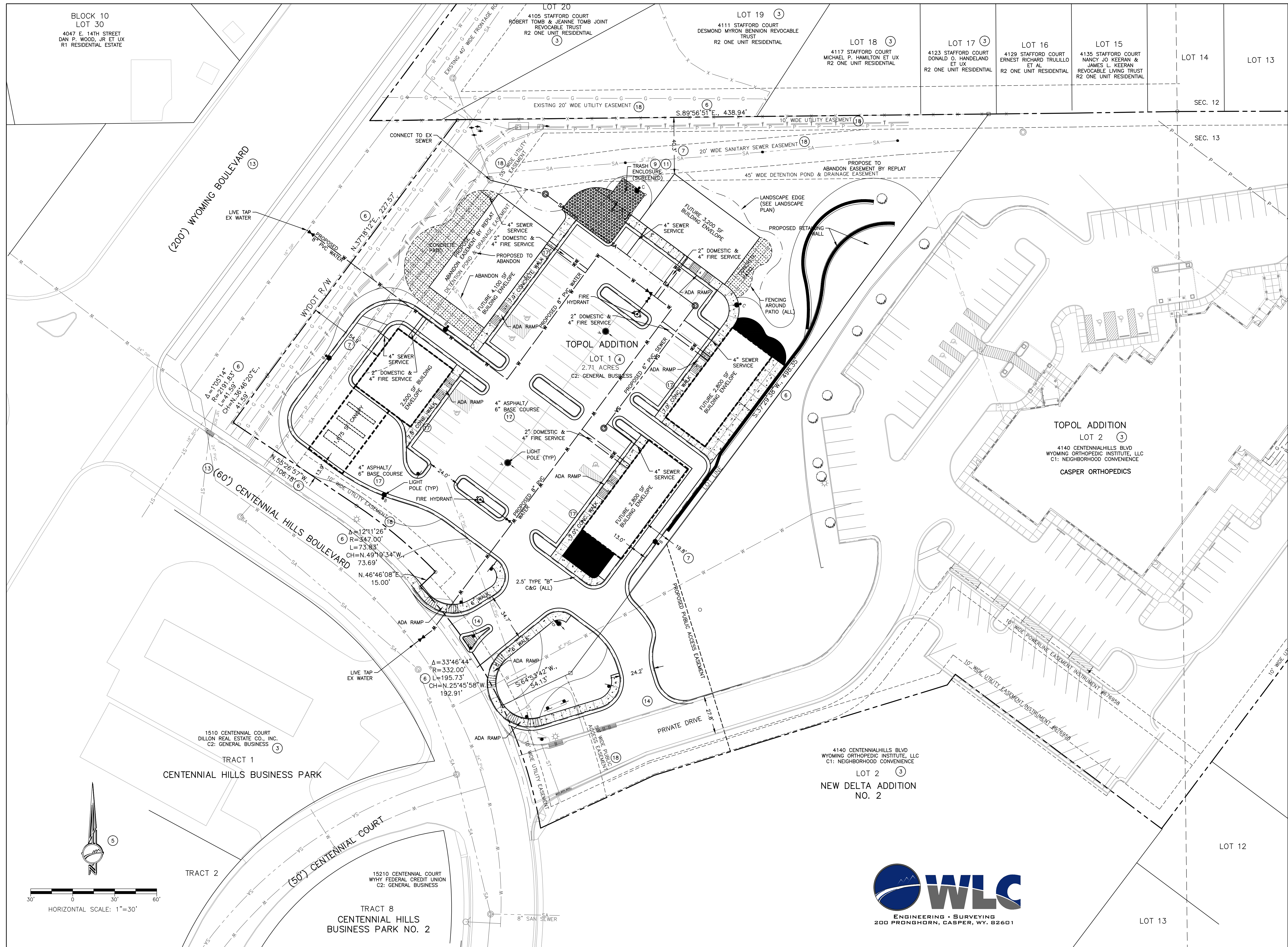
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SITE PLAN COVER

Sheet

C-100





TOPOL DEVELOPMENT
Casper, Wyoming



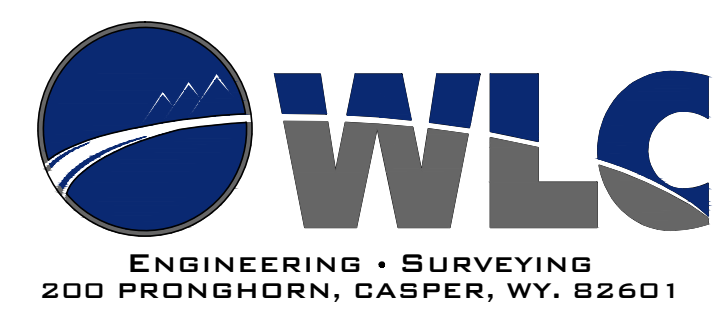
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SEAL:
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Date: 10/10/18
Drawn By: JLS
Checked By: JLM

Sheet Name
CIVIL SITE PLAN

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C-110



TOPOL DEVELOPMENT Casper, Wyoming



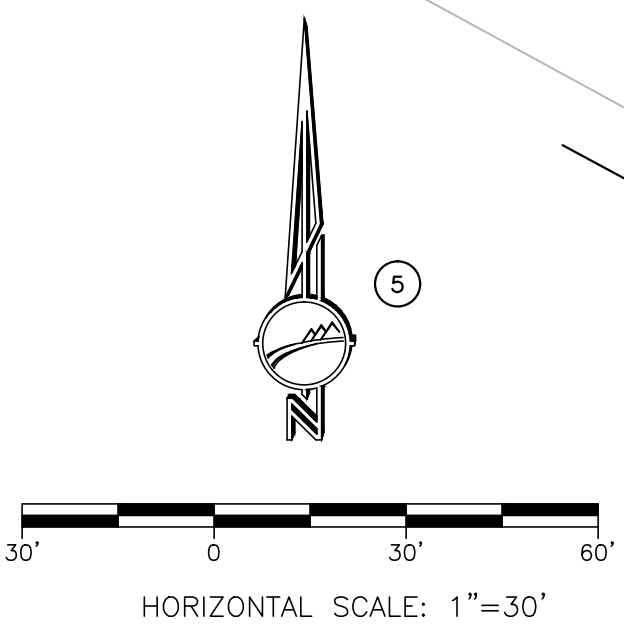
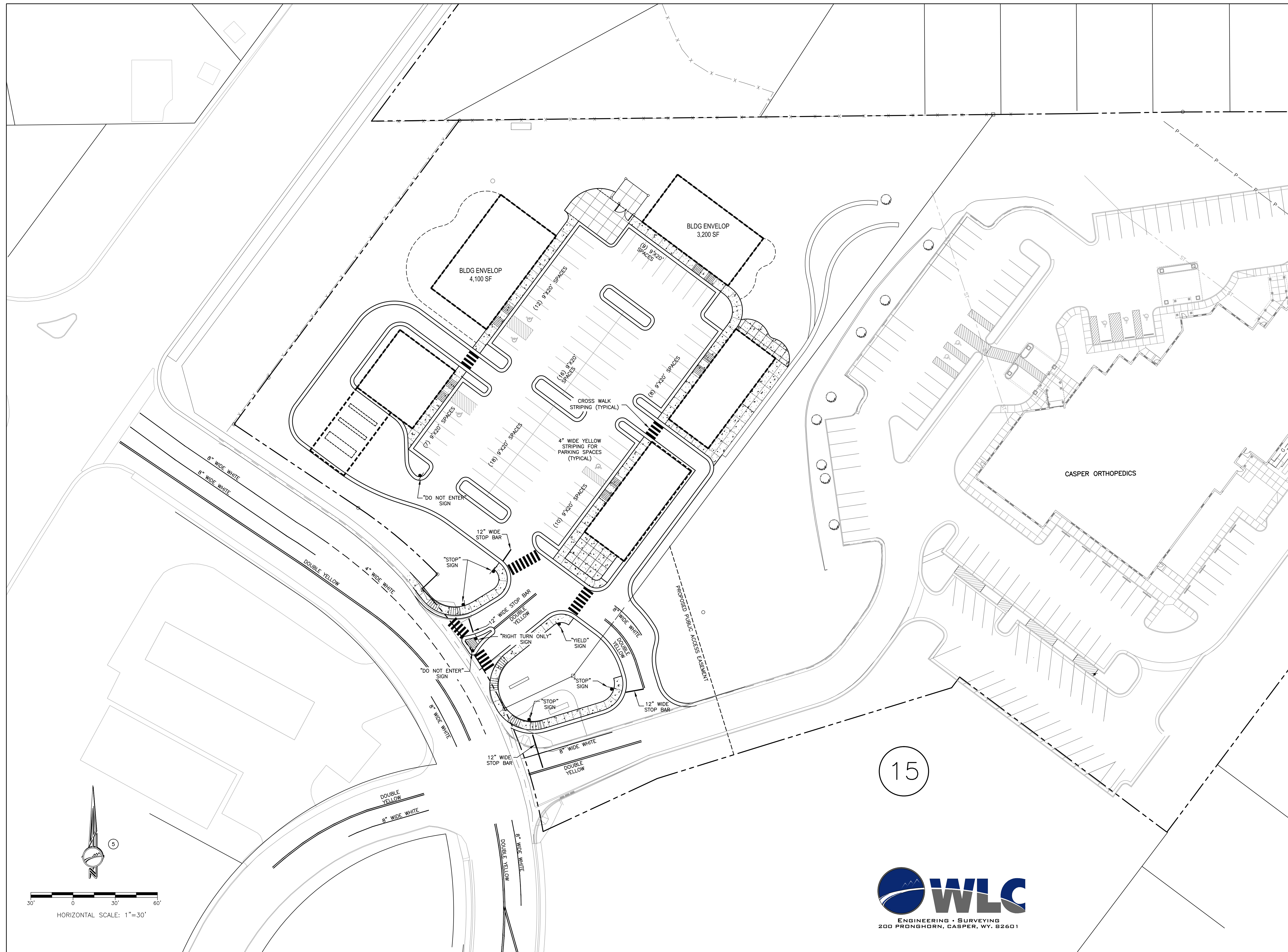
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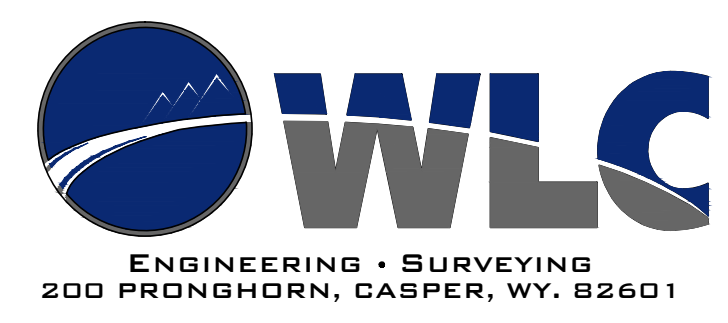
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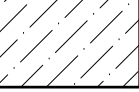
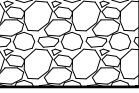
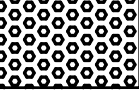
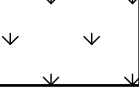
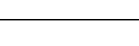
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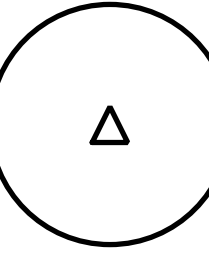

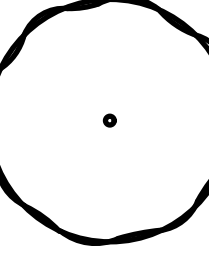

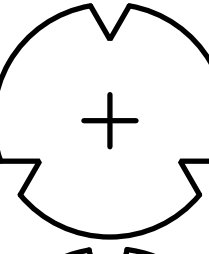

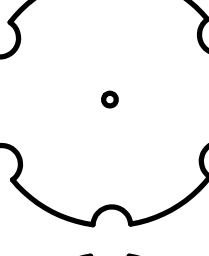

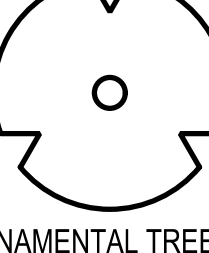

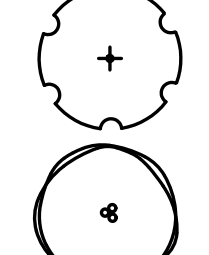

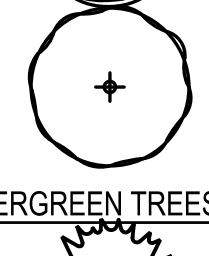

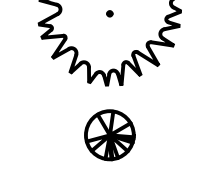

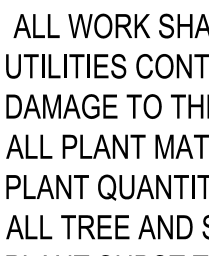

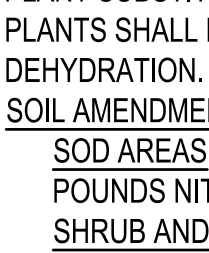

15



LANDSCAPE LEGEND: (17)

-  PLANTING BED W/ WOOD MULCH
-  PLANTING BED W/ RIVER ROCK MULCH
-  IRRIGATED SOD
(3 TYPE BLUEGRASS HYBRID BLEND W/
20% TEXAS BLUEGRASS)
-  NATIVE SEED
RE: SCHEDULE
-  EDGER (6" ht. / 7gauge min.)

LANDSCAPE SCHEDULE

QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	WIDTH	QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE	HEIGHT	WIDTH
DECIDUOUS TREES													
#		ACER NEGUNDO 'SENSATION'	SENSATION BOXELDER	2.5" CAL. B&B	40-50'	30-40'	#		AMORPHA CANESCENS	LEADPLANT	5 GAL.	2-4'	2-4'
#		GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5" CAL. B&B	40-50'	30-35'	#		ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	5 GAL.	3-4'	3-6'
#		GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE	2.5" CAL. B&B	40-50'	30-35'	#		CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	5 GAL.	3-5'	3-5'
#		POPULUS ANGUSTIFOLIA (NON-STREET TREE)	NARROWLEAF COTTONWOOD	2.5" CAL. B&B	50-60'	35-45'	#		PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	5 GAL.	3-4'	3-4'
#		ULMUS DAVIDIANA VAR. JAPONICA 'DISCOVERY'	DISCOVERY ELM	2.5" CAL. B&B	35-40'	35-40'	#		PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 GAL.	1-2'	6-8'
#		ACER TATARICUM 'GARANN'	HOT WINGS TATARIAN MAPLE	2" CAL.	20-25'	18-20'	#		RIBES CEREUM	WAX CURRANT	5 GAL.	3-5'	3-5'
#		BETULA OCCIDENTALIS	WESTERN RIVER BIRCH	6" HT. MULTI-STEM	15-20'	15-20'	#		SYRINGA VULGARIS 'PRAIRIE PETITE'	PRAIRIE PETITE DWARF LILAC	5 GAL.	3-4'	3-4'
#		MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.	20-25'	15-20'	#		SYMPHORICARPOS OREOPHILUS	ROCKY MOUNTAIN SNOWBERRY	5 GAL.	2-4'	3-5'
EVERGREEN TREES													
#		PINUS EDULIS	PINON PINE	6" HT.	12-20'	12-15'	#		PINUS MUGHO 'SLOWMOUND'	SLOWMOUND DWARF MUGHO PINE	5 GAL.	1-3'	1-3'
#		PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN PINE	6" HT.	15-25'	5-7'	#		PICEA PUNGENS 'WALDBRUNN'	WALDBRUNN COLORADO SPRUCE	5 GAL.	12-18"	2-3'

GENERAL LANDSCAPE NOTES:

- ALL WORK SHALL CONFORM TO LOCAL CITY CODES. ALL LANDSCAPING AND PLANTS TO BE LOCATED NOT TO INTERFERE WITH EXISTING OR PROPOSED UTILITIES CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES, LINES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING. DAMAGE TO THESE UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER OR LANDSCAPE ARCHITECT.
- ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN (AMERICAN ASSOCIATION OF NURSERYMEN) SPECIFICATIONS FOR NUMBER ONE GRADE.
- PLANT QUANTITIES SHOWN FOR INFORMATION PURPOSES ONLY. CONTRACTOR TO VERIFY ALL QUANTITIES.
- ALL TREE AND SHRUB LOCATIONS SHALL BE STAKED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT.
- PLANT SUBSTITUTIONS WILL NOT BE PERMITTED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT.
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE, IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HEELED IN AND WATERED TO PREVENT DEHYDRATION.
- SOIL AMENDMENT:**
 SOD AREAS - 4 C.Y. PER 1,000 S.F. OF COMPOST TILLED INTO 4" OF EXISTING SOIL. APPLY DIAMONIUM PHOSPHATE (18-46-0) AT ONE HUNDRED (100) POUNDS NITROGEN PER ACRE.
 SHRUB AND PLANTING BEDS - 4" OF COMPOST TILLED INTO 6" OF EXISTING SOIL.

 ACCEPTABLE PRODUCT: CLASS I COMPOST. COMPOSTED MATERIAL SHALL CONSIST OF AGED ORGANIC MATTER, FREE OF WEED OR OTHER NOXIOUS PLANT SEEDS, LUMPS, STONES, OR OTHER FOREIGN CONTAMINANTS HARMFUL TO PLANT LIFE, AND HAVING THE FOLLOWING CHARACTERISTICS BASED ON A NUTRIENT TEST PERFORMED NO LONGER THAN 3 MONTHS PRIOR TO ITS INCORPORATION INTO THE PROJECT:
 A. ORGANIC MATTER: 25% MINIMUM.
 B. SALT CONTENT: 5.0 MMHOS/CM MAXIMUM
 C. PH: 7.5 MAXIMUM.
 D. CARBON TO NITROGEN RATIO OF 10:1 TO 20:1
- ALL DAMAGED OR DEAD PLANT MATERIAL TO BE REPLACED. CONTRACTOR TO PROVIDE WATER THROUGHOUT CONSTRUCTION PERIOD.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
- ALL BEDS TO BE MULCHED WITH 4" LAYER OF GORILLA FIR TYPE MULCH, UNLESS SPECIFIED DIFFERENTLY.
- LANDSCAPE SHALL BE MAINTAINED INDEFINITELY, PER THE DEVELOPMENT AGREEMENT.

NATIVE SEED MIX NOTES:

- PREPARE SOIL AS NECESSARY AND APPROPRIATE FOR NATIVE SEED MIX SPECIES THROUGH AERATION AND ADDITION OF AMENDMENTS, THEN SEED IN TWO DIRECTIONS TO DISTRIBUTE SEED EVENLY OVER ENTIRE AREA.
- IF CHANGES ARE TO BE MADE TO SEED MIX BASED ON SITE CONDITIONS THEN APPROVAL MUST BE PROVIDED BY LANDSCAPE ARCHITECT.
- APPROPRIATE NATIVE SEEDING EQUIPMENT WILL BE USED (STANDARD TURF SEEDING EQUIPMENT OR AGRICULTURE EQUIPMENT SHALL NOT BE USED).
- DRILL SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2 INCH DEPTH. FOR BROADCAST SEEDING INSTEAD OF DRILL SEEDING METHOD DOUBLE SPECIFIED APPLICATION RATE. REFER TO NATIVE SEED MIX TABLE FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
- TREAT NATIVE SEED MIX AREA PRIOR TO INSTALLATION OF SEED WITH APPROPRIATE HERBICIDE TO PROACTIVELY MITIGATE HERBACEOUS WEED SPECIES GROWTH DURING ESTABLISHMENT PERIOD THEN AFTER APPROPRIATE TIME PERIOD APPLY NATIVE SEED AS CALLED FOR ON APPROVED PLANS.
- AFTER SEEDING THE AREA SHALL BE COVERED WITH CRIMPED STRAW OR OTHER APPROPRIATE METHODS AND PROVIDED TEMPORARY IRRIGATION UNTIL SEED IS ESTABLISHED.
- CONTRACTOR SHALL MONITOR SEEDED AREA FOR PROPER IRRIGATION, EROSION CONTROL, GERMINATION AND RESEEDING AS NEEDED TO ESTABLISH COVER.
- THE APPROVED SEED MIX AREA IS INTENDED TO BE MAINTAINED IN A NATURAL LIKE LANDSCAPE AESTHETIC. IF AND WHEN MOWING OCCURS IN NATIVE GRASS SEED MIX AREAS DO NOT MOW LOWER THAN 6 TO 8 INCHES IN HEIGHT TO AVOID INHIBITING NATIVE PLANT GROWTH.
- NATIVE SEED AREA WILL BE CONSIDERED ESTABLISHED WHEN SEVENTY PERCENT TOTAL COVER IS REACHED WITH NO LARGER THAN ONE FOOT SQUARE BARE SPOTS AND/OR UNTIL DEEMED ESTABLISHED BY OWNER REPRESENTATIVE.

NATIVE SEED MIX:

DETENTION BASIN SEED MIX
(Drill rate: 14.54 lbs/ac, Broadcast rate: 29.08 lbs/ac)






COMMON NAME	SCIENTIFIC NAME	PLS/AC
PLAINS COREOPSIS	COREOPSIS TINCTORIA	0.17
WHITE PRAIRIE CLOVER	DALEA CANDIDA	0.65
PURPLE PRAIRIE CLOVER	DALEA PURPUREA	0.81
INDIAN BLANKETFLOWER	GALLARDIA ARISTATA	1.85
MEXICAN HAT	RATIBIDA COLUMNIFERA	0.2
INDIAN RICEGRASS	ACHNATHERUM HYMENOIDES	1.13
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	1.15
BUFFALOGRASS	BOUTELOUA DACTYLOIDES	3.27
BLUE GRAMA	BOUTELOUA GRACILIS	0.25
INLAND SALTGRASS	DISTICHLIS STRICTA	0.35
BOTTLEBRUSH SQUIRRELTAIL	ELYMUS ELYMOIDES	0.95
STREAMBANK WHEATGRASS	ELYMUS LANCEOLATUS SSP.	1.36
PRAIRIE JUNEGRASS	KOELERIA MACRANTHA	0.08
WESTERN WHEATGRASS	PASCOPIRYUM SMITHII	1.61
LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	0.7

UPLAND SEED MIX

(Drill rate: 13.58 lbs/ac, Broadcast: 27.16 lbs/ac)

COMMON NAME	SCIENTIFIC NAME	PLS/AC
PLAINS COREOPSIS	COREOPSIS TINCTORIA	0.17
PURPLE PRAIRIE CLOVER	DALEA PURPUREA	0.81
INDIAN BLANKETFLOWER	GALLARDIA ARISTATA	1.85
ROCKY MTN. PENSTEMON	PENSTEMON STRICTUS	0.35
MEXICAN HAT	RATIBIDA COLUMNIFERA	0.2
INDIAN RICEGRASS	ACHNATHERUM HYMENOIDES	1.13
SIDEOATS GRAMA	BOUTELOUA CURTIPENDULA	1.15
BUFFALOGRASS	BOUTELOUA DACTYLOIDES	3.27
BLUE GRAMA	BOUTELOUA GRACILIS	0.25
BOTTLEBRUSH SQUIRRELTAIL	ELYMUS ELYMOIDES	0.95
PRAIRIE JUNEGRASS	KOELERIA MACRANTHA	0.08
GREEN NEEDLEGRASS	NASSELLA VIRIDULA	1.01
SWITCHGRASS	PANICUM VIRGATUM	0.71
WESTERN WHEAT	PASCOPIRYUM SMITHII	1.61
SAND DROPSEED	SPOOBOLUS CRYPTANDRUS	0.04

PERENNIALS

#		ACHILLEA MILLEFOLIUM 'SUMMER PASTELS'	SUMMER PASTELS YARROW	1 GAL.	12-15"	16-18"
#		CALLIRHOE INVOLUCRATA	WINECUPS	1 GAL.	4-6"	30-36"
#		ECHINACEA HYBRIDA 'CHEYENNE SPIRIT'	CHEYENNE SPIRIT CONEFLOWER	1 GAL.	12-30"	18-24"
#		NEPETA 'PSFIKE'	LITTLE TRUDY CATMINT	1 GAL.	8-10"	12-18"
#		OSTEOSPERMUM 'AVALANCHE'	AVALANCHE WHITE SUN DAISY	1 GAL.	12-18"	16-24"

TOPOL DEVELOPMENT
Casper, Wyoming



REV.	COMMENT	DATE

SEAL:

DESIGN DEVELOPMENT

Date: OCT.2018
 Drawn By: DD
 Checked By: PM

Sheet Name

LANDSCAPE NOTES AND SCHEDULE

Sheet

LP100



LANDSCAPE LEGEND: 17

- PLANTING BED W/ WOOD MULCH
- PLANTING BED W/ RIVER ROCK MULCH
- IRRIGATED SOD (3 TYPE BLUEGRASS HYBRID BLEND W/ 20% TEXAS BLUEGRASS)
- NATIVE SEED RE: SCHEDULE
- EDGER (6" ht. / 7gauge min.)

LANDSCAPE SCHEDULE

QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE
DECIDUOUS TREES				
#		ACER NEGUNDO 'SENSATION'	SENSATION BOXELDER	2.5" CAL. B&B
#		GLEDITSIA TRIACANTHOS INERMIS 'SKYCOLE'	SKYLINE HONEYLOCUST	2.5" CAL. B&B
#		GYMNOCLADUS DIOICUS 'ESPRESSO'	KENTUCKY COFFEETREE	2.5" CAL. B&B
#		POPULUS ANGUSTIFOLIA (NON-STREET TREE)	NARROWLEAF COTTONWOOD	2.5" CAL. B&B
#		ULMUS DAVIDIANA VAR. JAPONICA 'DISCOVERY'	DISCOVERY ELM	2.5" CAL. B&B
ORNAMENTAL TREES				
#		ACER TATARICUM 'GARANN'	HOT WINGS TATARIAN MAPLE	2" CAL.
#		BETULA OCCIDENTALIS	WESTERN RIVER BIRCH	6' HT. MULTI-STEM
#		MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2" CAL.
EVERGREEN TREES				
#		PINUS EDULIS	PINON PINE	6' HT.
#		PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN PINE	6' HT.
QTY	SYMBOL	BOTANIC NAME	COMMON NAME	SIZE
DECIDUOUS SHRUBS				
#		AMORPHA CANESCENS	LEADPLANT	5 GAL.
#		ARTEMISIA TRIDENTATA	BIG SAGEBRUSH	5 GAL.
#		CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	5 GAL.
#		PHYSOCARPUS MONOGYNUS	MOUNTAIN NINEBARK	5 GAL.
#		PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 GAL.
#		RIBES CEREUM	WAX CURRANT	5 GAL.
#		SYRINGA VULGARIS 'PRAIRIE PETITE'	PRAIRIE PETITE DWARF LILAC	5 GAL.
#		SYMPHORICARPOS OREOPHILUS	ROCKY MOUNTAIN SNOWBERRY	5 GAL.
EVERGREEN SHRUB (SYMBOLS ENLARGED FOR CLARITY)				
#		PINUS MUGHO 'SLOWMOUND'	SLOWMOUND DWARF MUGHO PINE	5 GAL.
#		PICEA PUNGENS 'WALDBRUNN'	WALDBRUNN COLORADO SPRUCE	5 GAL.
ORNAMENTAL GRASSES (SYMBOLS ENLARGED FOR CLARITY)				
#		CALAMAGROSTIS X ACUTIFLORA 'ELDORADO'	ELDORADO FEATHER REED GRASS	1 GAL.
#		DESCHAMPSIA CAESPITOSA	TUFTED HAIRGRASS	1 GAL.
#		CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	1 GAL.
#		PENNISETUM ALOPECUROIDES 'HAMELN'	HAMELN FOUNTAIN GRASS	1 GAL.
PERENNIALS				
#		ACHILLEA MILLEFOLIUM 'SUMMER PASTELS'	SUMMER PASTELS YARROW	1 GAL.
#		CALLIRHOE INVOLUCRATA	WINECUPS	1 GAL.
#		ECHINACEA HYBRIDA 'CHEYENNE SPIRIT'	CHEYENNE SPIRIT CONEFLOWER	1 GAL.
#		NEPETA 'PSFIKE'	LITTLE TRUDY CATMINT	1 GAL.
#		OSTEOSPERMUM 'AVALANCHE'	AVALANCHE WHITE SUN DAISY	1 GAL.

TOPOL DEVELOPMENT
Casper, Wyoming



REV.	COMMENT	DATE

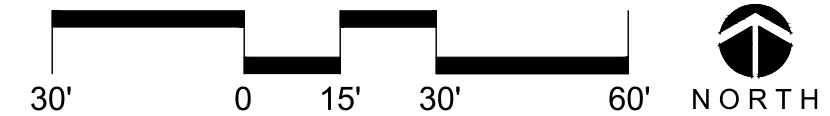
SEAL:
DESIGN DEVELOPMENT

Date: OCT.2018
Drawn By: DD
Checked By: PM

Sheet Name
OVERALL LANDSCAPE PLAN

Sheet
LP101

A OVERALL LANDSCAPE PLAN



OCT - 5 2018

Dee Ann Hardy

From: Desmond C. Bennion <des@bonagency.com>
Sent: Friday, October 05, 2018 8:32 AM
To: Dee Ann Hardy
Subject: PLN-023-S

To whom it may concern,

I own the house located at 4111 Stafford Ct and received your notice of a building being constructed behind my home. I don't feel this will be a problem as long as the building is only one level as to not block the view of the mountain and the lighting is significantly dim. Any lights should be on the street side as to not cause unnecessary light invading into the back windows of our homes. I hope that you will take these requests into consideration.

You can reach me on my cell phone at 307-259-0767

Thank you,

Des Bennion
President

The Bon Agency, Inc.

PH: 307-234-4551 ext 1582

FAX: 307-237-2237

des@bonagency.com



OCT 10 2018

Dee Ann Hardy

From: Mike Hamilton <mikeandjudy2@hotmail.com>
Sent: Tuesday, October 09, 2018 10:22 AM
To: Dee Ann Hardy
Subject: PLN-023-S Site Plan Design Lot 1 Topol Addition 4140 Centennial Hills Blvd

Mike and Judy Hamilton reside at 4117 Stafford Ct. and are within a 300 ft radius of the perimeter of the above listed PLN-023-S Site Plan. If the Proposed Restaurant/Bar/Patio with trash enclosure or fast food specialty restaurant is allowed to be built at the north end of the plan, we will be the residence most adversely affected.

Our imagination runs wild thinking of the possible day and night activity outside of our residence, specifically our bedroom, living room, dining room and patio.....lights, noise, trash and food smells, rodents, mosquitos, flies, loss of privacy, and possibly property devaluation. Even though we fervently object to any restaurant/bar/patio, fast food, or trash bin being built adjacent to our home, we certainly do not object to those establishments being built on either side of the development and the retail shop being built behind us.

We are hoping that the True Land and Realty representative will be true to his word to be a good neighbor, and respectfully request that no restaurants or bar be built and no trash enclosure be placed at the north end of the development, abutting our residential area. If you would like a better idea of why we are so concerned about a high traffic, noisy, possibly smelly facility being constructed so close to our property, feel free to enter our backyard and stand on the deck for a moment and envision this as your home. We are sure that you would agree with our point of view and oppose those same facilities being constructed.

We hope that you can understand our concerns and that you will give serious, empathetic consideration regarding our request when firming up your plans for the location of the proposed buildings. If anything more is required of us, please let us know.

Respectfully submitted,

Mike/Judy Hamilton
307-262-7184